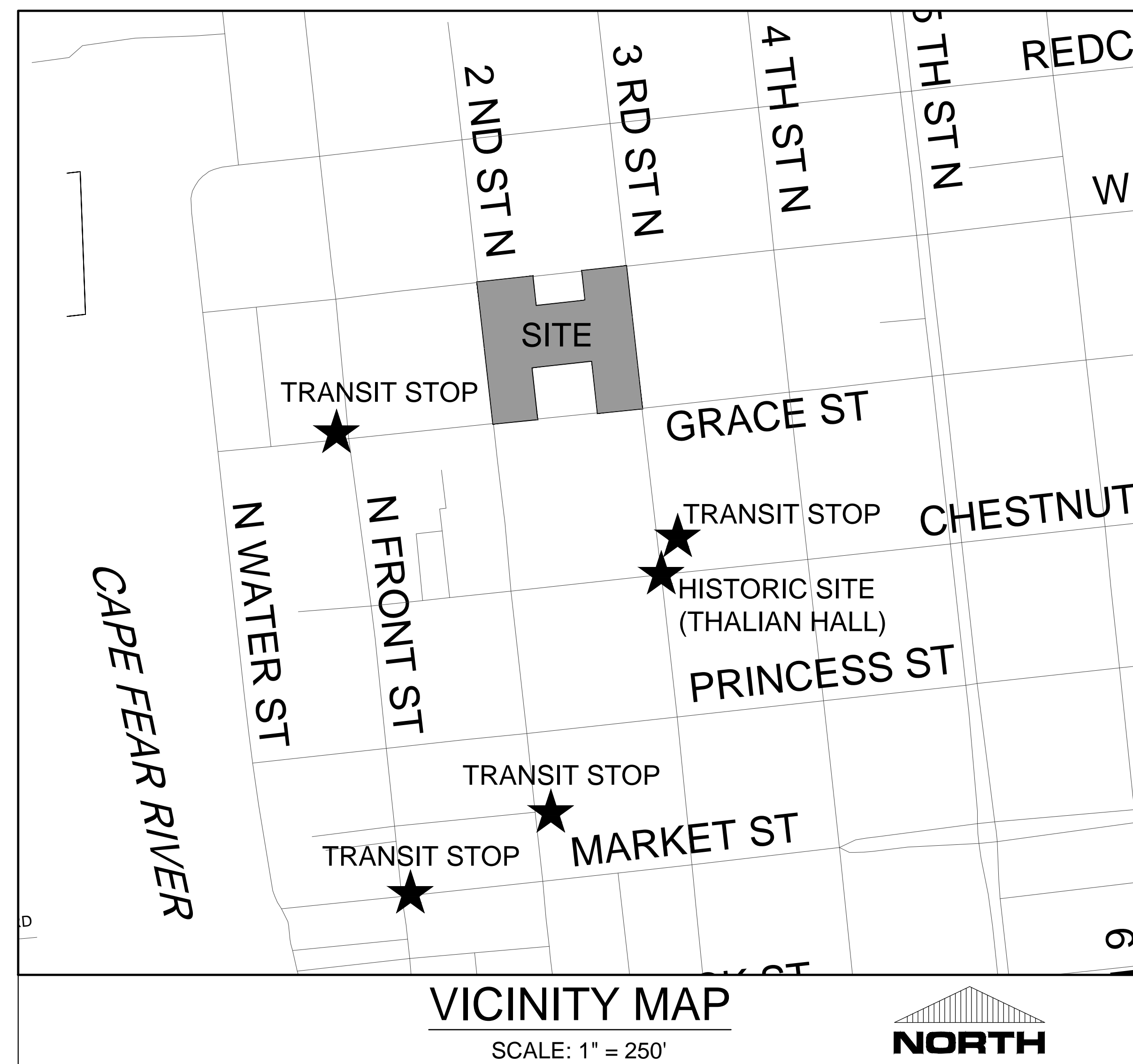


RIVERBEND @ 2ND & GRACE

316 N. 2ND STREET
WILMINGTON, NORTH CAROLINA

TRC DESIGN DOCUMENTS
MAY 2019



SURVEYORS:
HANOVER DESIGN SERVICES, PA
1123 FLORAL PARKWAY
WILMINGTON, NC 28403

PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NC 28403

OWNER / DEVELOPER:
RIVERBEND #1, LLC
316 N. 2ND STREET
WILMINGTON, NORTH CAROLINA 28401

GENERAL CONTRACTOR:
GLANCEY AND THEYS CONSTRUCTION
2250 SHIPYARD BLVD, SUITE #1
WILMINGTON, NORTH CAROLINA 28403

ARCHITECT:
LS3P
101 N. 3RD STREET, SUITE 500
WILMINGTON, NORTH CAROLINA 28401
ATTN: DANNY ADAMS OR JAIME SMITH (910) 790-9901

ENGINEER (CIVIL) & LANDSCAPE ARCHITECT:
PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
ATTN: BRANCH SMITH (910) 791-6707

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0-1.1	GENERAL NOTES
C-2.0-2.1	SITE & SITE INVENTORY PLANS
C-2.2	DEMO & EROSION CONTROL PLAN
C-3.0	GRADING & DRAINAGE PLAN
C-4.0	UTILITY PLAN
C-5.0-5.1	CIVIL DETAILS
L-1.0	LANDSCAPE PLAN

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT
ATTN: JEFF WALTON, PLANNER
PH: 910-341-4655
ATTN: ZONING INSPECTIONS
PH: 910-254-0500

PIEDMONT NATURAL GAS
ATTN: CATHY PLEASANT
PH: 910-251-2827

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE
ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY
PH: 910-343-6595

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ENGINEERING/INSPECTIONS
PH: 910-332-6560

OPERATIONS/MAINTENANCE
PH: 910-332-6550

DUKE ENERGY
DISTRIBUTION CONSTRUCTION SERVICE
DEP CSC PH: 1-800-462-2777

AT&T/BELL SOUTH
ATTN: STEVE DAYVAULT (BUILDING ENGINEERING)
PH: 910-341-0741
ATTN: JAMES BATSON, ENGINEERING
PH: 910-341-1621

SPECTRUM / TIME WARNER
GENERAL PH: 800-892-4357
STEVE BARNETTE 910-772-5755

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

Signed: _____

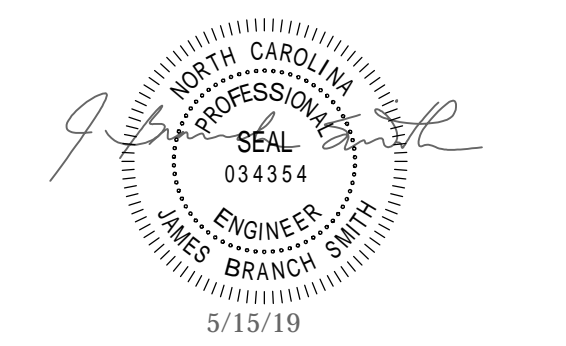


PREPARED BY:
PARAMOUNTE ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846
PROJECT # 16163.PE

RIVERBEND
316 N. 2ND STREET



LS3P ASSOCIATES LTD.
101 NORTH THIRD STREET, SUITE 500
WILMINGTON, NORTH CAROLINA 28401
TEL. 910.790.9901 FAX 910.790.3111
WWW.LS3P.COM



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REVISIONS:

No.	Description	Date

PROJECT: 16163.PE
DATE: APRIL 10, 2019
DRAWN BY: CDR
CHECKED BY: JBS

COVER
C-0

SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN
DESIGN DEVELOPMENT

NC ACCESSIBILITY NOTES CONTD.

- ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
- ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
- PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
- TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
- ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
- ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
- ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
- FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
- PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
- PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
- PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING SPACES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
- ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESSIBLE PARKING SPACE TO THE BUILDING OR FACILITY ENTRANCE. SIGNS SHALL BE INSTALLED WITH BOLLARD PROTECTION.
- SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106.15 SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-37.6 AND 136-30 AND THE NC DOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES. A SEPARATE SIGN IS REQUIRED FOR EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PENALTY MUST BE PROVIDED AT EACH ACCESSIBLE SPACE.
- ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT).

PASSENGER LOADING ZONE NOTES:

- PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.
- PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY SERVE.
- ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY.
- VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ANY DIRECTION. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM. *SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES.
- FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.

ACCESSIBLE ENTRANCE NOTES:

- ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NC BUILDING CODE (ANSI A117.1) AND SHALL BE ON AN ACCESSIBLE ROUTE.

GENERAL STORM SEWER NOTES:

- ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF WILMINGTON REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
- BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS.
- ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76 UNLESS INDICATED OTHERWISE ON PLANS.

ROOF DRAIN NOTES:

- PROPOSED BUILDING SHALL DIVERT ROOF DRAINAGE TO STORMWATER COLLECTION SYSTEM.

EXISTING UTILITY NOTES:

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

WETLAND NOTES:

- THERE ARE NO WETLANDS FLAGGED AND SURVEYED ON THE PROPERTY.

GENERAL NOTES:

- SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE(ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. PARAMOUNTE ENGINEERING HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDING THE PROJECT. IN ADDITION, PARAMOUNTE ENGINEERING HAS MADE A POINT IN THESE NOTES AND DETAILS AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE(ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS). IF THESE SLOPE / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK.
- THE CONTRACTOR SHALL NOTIFY PARAMOUNTE ENGINEERING IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY PARAMOUNTE ENGINEERING OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED UNTIL SUCH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S).
- THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

- AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS OR SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE.
- AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
- WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 2.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.
- ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB RAMPS.
- TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSHING FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED).
- FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FORTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.2).
- WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM. *SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES.
- AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHALL BE EITHER A SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE, OR AN INTERSECTION OF TWO (2) 2' WALKING SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE. PROVIDED THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.
- DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE(ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES.
- WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN THE EVENT THAT A DRAINAGE INLET IS LOCATED ON AN ACCESSIBLE ROUTE, THE INLET SHALL BE AT THE SAME LEVEL AS THE ACCESSIBLE ROUTE AND SHALL BE PROTECTED BY A GATE OR COVER. THE INLET SHALL BE AT THE SAME LEVEL AS THE ACCESSIBLE ROUTE AND SHALL BE PROTECTED BY A GATE OR COVER. THE INLET SHALL BE AT THE SAME LEVEL AS THE ACCESSIBLE ROUTE AND SHALL BE PROTECTED BY A GATE OR COVER. THE INLET SHALL BE AT THE SAME LEVEL AS THE ACCESSIBLE ROUTE AND SHALL BE PROTECTED BY A GATE OR COVER.

RAMP NOTES:

- ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.
- THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
- THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING CODE 1104.1), WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
- THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM.
- LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE WIDER RAMP RUN LEADING TO THE LANDING. THE LANDING CLEAR LENGTH SHALL BE SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS SHALL HAVE A CLEAR LANDINGS OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.
- RAMPS RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE(ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.
- FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE(ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE PROVIDED ON EACH RAMP RUN ON EACH SIDE OF THE RAMP RUN.
- WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING, MANEUVERING CLEARANCES REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE(ANSI A117.1) SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA, WHERE DOORS THAT ARE SUBJECT TO CLOSING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.

CURB RAMP NOTES:

- THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
- COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
- THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (30) INCHES MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED. *NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 INCHES MINIMUM WIDE (1104.1 & 1104.2).
- LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE LANDINGS SHALL BE THIRTY (30) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDINGS SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
- IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUELRAILS, IT SHALL HAVE FLARED SIDES.
- WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.
- CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES. PARKING SPACES OR PARKING ACCESS AISLES, CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
- CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
- IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAMP. REFER TO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR DO THE 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.
- FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP DRAINAGE, 1/2 INCH WIDE BY 1/2 INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
- WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
- WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
- WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
- CURB RAMP TYPE AND LOCATION ARE PER PLAN.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES:

- THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH PHASE OF CONSTRUCTION. THE ORDER AND SEQUENCE TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED, WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE DISTURBANCE IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE DISTURBANCE LIMITS ARE COMPLETE.
- CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCES(ES), ESTABLISH THE LIMITS OF DISTURBANCE, TREE PROTECTION FENCING, AND TEMPORARY SILT FENCE.
- CLEAR AND REMOVE FROM SITE TREES AS DESIGNATED, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS.
- INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.
- PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 WORKING DAYS OF CEASE OF ANY GRADING ACTIVITY.
- IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION CONTROL MEASURES.
- DURING GRADING AND AFTER GRADING HAS BEEN COMPLETE, THE CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL APPROVAL BY ENGINEER OR EROSION CONTROL INSPECTOR.
- UPON RECEIVING FINAL APPROVAL, THE CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN GRASS & PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE.

EROSION CONTROL MAINTENANCE PLAN:

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2 INCH OR GREATER RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES OF 1/4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
- SEDIMENT FENCE / SEDIMENT FENCE OUTLETS - SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF-FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL, AND SPACED 5 FEET WITH EXTRA STRENGTH FABRIC AND NO WIRE BACKING. STAKE SPACING CAN BE 8 FEET WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS (OR EXCELSTOR WATTLES) ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE THE ROCK OR WATTLE WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS, OR IS DAMAGED.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS ON THESE PLANS AND CONTRACT SPECIFICATIONS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- INLET PROTECTION - SEDIMENT SHALL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL, BLOCK AND GRAVEL, OR ROCK-PIPE INLETS, WHEN IT REACHES HALF-FILLED, ROCKS WILL BE CLEANED OR REPLACED WHEN NO LONGER DRAINS, SILT SACKS, BEAVER DAMS, SANDY SACKS, AND SOOKS NEED CHECKING EVERY WEEK AND AFTER RAIN.
- SEDIMENT BASIN/SEDIMENT TRAPS - REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO WITHIN ONE HALF OF THE DESIGN DEPTH. PLACE SEDIMENT IN AREA WITH SEDIMENT CONTAINERS. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, PILING, AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DISCOMPOSE, ETC.
- SKIMMER - INSPECT SKIMMER AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL TO MAKE SURE THAT THE INTAKE MECHANISM, ORIFICE, OR DISCHARGE PIPE IS NOT CLOGGED WITH TRASH OR SEDIMENT. IF THE BASIN IS DRY, MAKE SURE THAT ANY VEGETATION GROWING ON THE BOTTOM IS NOT HOLDING THE SKIMMER DOWN. TAKE SPECIAL PRECAUTION IN WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.
- OUTLET PROTECTION - INSPECT RIP RAP OUTLET STRUCTURES WEEKLY AND AFTER RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLOADED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER EROSION.
- EMERGENCY SPILLWAY / FOREBAY PROTECTION - AFTER EVERY HIGH-WATER EVENT INSPECT THE INTEGRITY OF THE LINED SPILLWAY AND THE ADJACENT EARTHEN BANKS. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE. REPAIR ANY VOIDS IN THE RIP RAP LINED APPROX. RE-ESTABLISH ANY LOOSE STONES, AND FIX GAPS IN THE ADJACENT VEGETATIVE COVER.
- DIVERSION DITCHES / GRASS SWALES - INSPECT THE CHANNEL, OUTLET AND ALL ROAD CROSSINGS FOR BANK STABILITY AND EVIDENCE OF PILING OR SCOUR HOLES. REMOVE ALL SIGNIFICANT SEDIMENT ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY. DIVERSIONS SHALL BE LINED OR STABILIZED AS NOTED ON THE PLANS. IF THE DIVERSION WILL BECOME PERMANENT GRASS SWALES, THEN GROW GRASS INTO A HEALTHY, VIGOROUS CONDITION.
- CHECK DAMS - EXCELSTOR OR RIP-RAP - SEDIMENT SHALL BE REMOVED FROM THE DAM WHEN IT REACHES HALF-FILLED. CHECK DAMS SHALL BE REPAIRED OR REPLACED, AND CHANNEL SHALL BE REPAIRED OF RUTS, PIPING, AND SETTLEMENT AROUND THE DAMS AS NEEDED.
- CONCRETE WASHOUTS - CONCRETE WASHOUTS SHOULD BE INSPECTED DAILY AND AFTER HEAVY RAINS. DAMAGES SHOULD BE REPAIRED PROMPTLY. IF FILLED TO OVER 75% CAPACITY WITH RAIN WATER IT SHOULD BE VACUUMED OR ALLOWED TO EVAPORATE TO AVOID OVERFLOWS. BEFORE HEAVY RAINS THE CONTAINERS LIQUID LEVEL SHOULD BE LOWERED OR THE CONTAINER COVERED TO AVOID AN OVER FLOW DURING RAIN. WHEN SOLIDS HAVE HARDENED THEY SHOULD BE REMOVED AND RECYCLED.

PERMANENT SEEDING

GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
BERMUDA, HULLED	10-20	MARCH - AUGUST	BY SOIL TEST
BERMUDA, UNHULLED	35	SEPT. - FEB.	BY SOIL TEST
CENTPEDEE	10	MARCH - AUGUST	BY SOIL TEST (NO HIGH PH)
TALL FESCUE (COASTAL CULTIVAR RECOMMENDED)	50	MARCH - AUGUST	300 LB/AC 10-20-20 OR BY SOIL TEST
SLOPES > 2:1 CENTPEDEE SERICEA LESPEDEZA	5	JAN - DEC	BY SOIL TEST

TEMPORARY SEEDING

GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
RYE GRAIN	50	OCT. - APR.	400 LBS/AC 10-20-20
SWEET SUDAN GRASS	50	JUNE - AUGUST	400 LBS/AC 10-20-20
GERMAN OR BROWNTOP MILLET	50	JUNE - AUGUST	400 LBS/AC 10-20-20
STRAW MULCH AS NEEDED	4,000		

STABILIZATION TIME FRAME:

IN THE EVENT THAT THE GOVERNING AGENCIES TIMEFRAME FOR STABILIZATION VARY, CONTRACTOR SHALL MEET THE MORE STRINGENT REQUIREMENT.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUND COVER ON ALL EXPOSED PERIMETER DITCHES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 2:1 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY. GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT).
- THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AGENCY ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NEW HANOVER COUNTY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT).
- ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SOODED OR SEEDED AS INDICATED AND STABILIZED.
- DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RAINFALL EVENT. ANY NEEDED REPAIRS OR CLEAN UP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). MGR'S FINAL APPROVAL IS REQUIRED.
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT).
- WHEN CROSSING CREEK OR DRAINAGE WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED DURING LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL AND RESTORE SLOPES TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.

DEMOLITION NOTES:

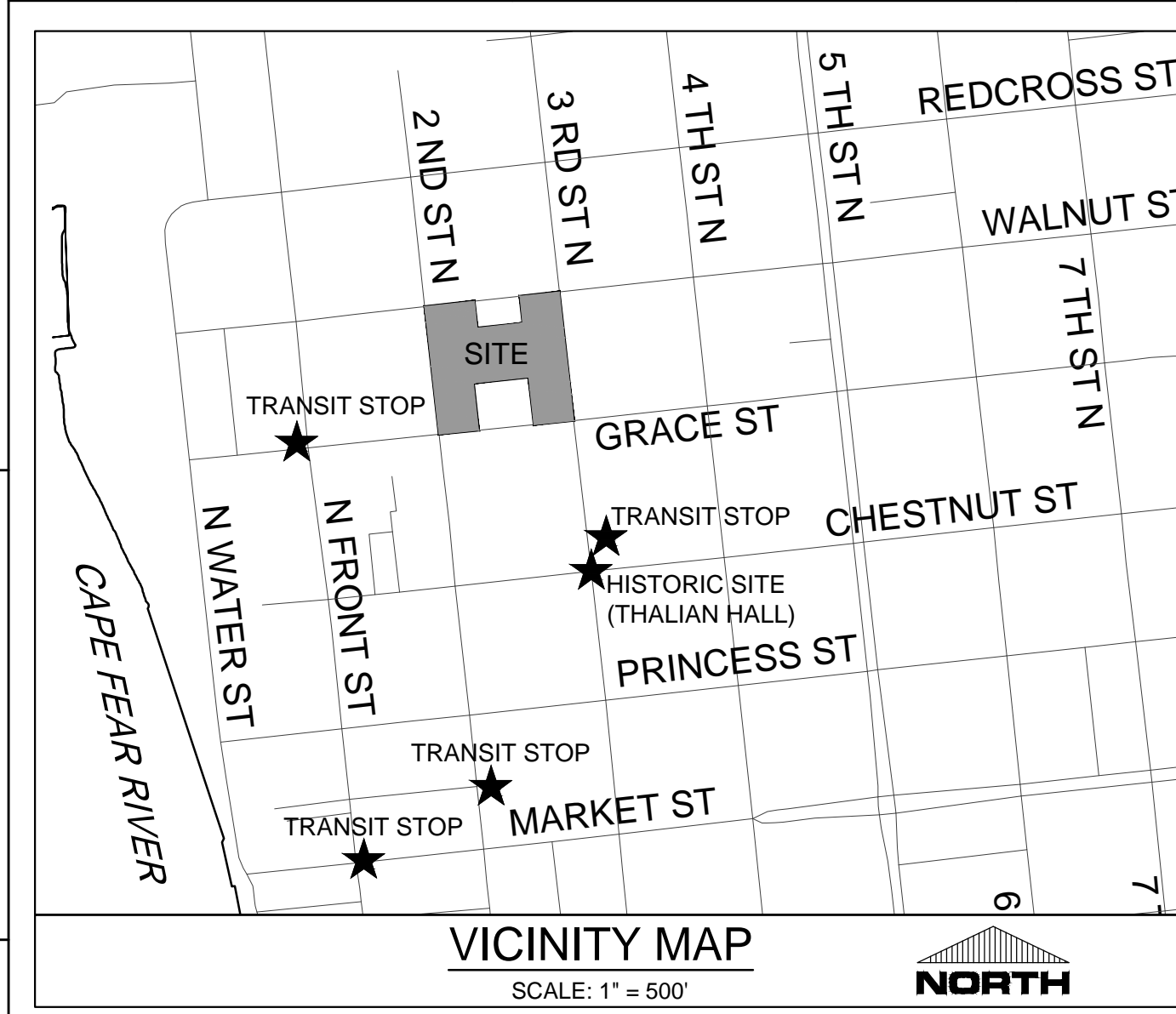
- CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
- CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES, ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE GEOTECHNICAL ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
- ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
- EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
- ALL EXISTING IMPROVEMENTS INSPECTED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
- CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
- CONTRACTOR SHALL MAINTAIN REQUIRED DISTANCES FROM HIGH VOLTAGE OVERHEAD LINES AND REMOVE TREES SO THEY DO NOT FALL TOWARDS OVERHEAD ELECTRICITY.
- PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
- ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
- EXISTING FIRE HYDRANTS ON OR NEAR THE SITE ARE TO REMAIN IN SERVICE.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS.

COORDINATION NOTES:

- THE CONTRACTOR IS REQUIRED TO OBTAIN ANY ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH THE CITY OF WILMINGTON, NEW HANOVER COUNTY, CARE FEAR PUBLIC UTILITY AUTHORITY (CFPAU), AND THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
- ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND DETAILS.

GENERAL NOTES:

- TREE INVENTORY AND TOPOGRAPHIC SURVEY COMPLETED BY HANOVER DESIGN AND PARAMOUNTE ENGINEERING, INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER AND ENGINEER.
- REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL OBTAIN FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC.
- CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROHIBITED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
- CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SATISFACTORY BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOTD.
- ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
- CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 811 ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE 'CONSTRUCTION LIMITS' BROOM CLEAN AT ALL TIMES.
- ALL STREET SURFACES, DRIVEWAYS, CURBS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, NEW HANOVER COUNTY, OR CFPAU, RESPECTIVELY.
- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL, ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR

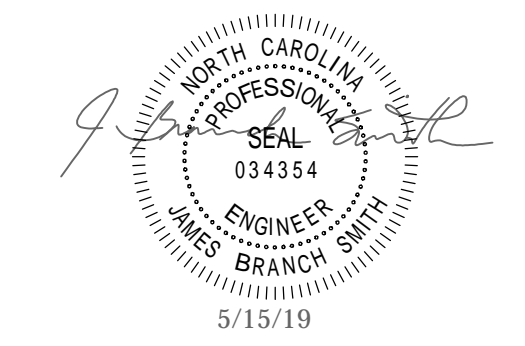


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NC License #: C-2846

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P.O. BOX 1087
WEST END, NC 27376

RIVERBEND
316 N. 2ND STREET

LS3P
LS3P ASSOCIATES LTD.
101 NORTH THIRD STREET, SUITE 500
WILMINGTON, NORTH CAROLINA 28401
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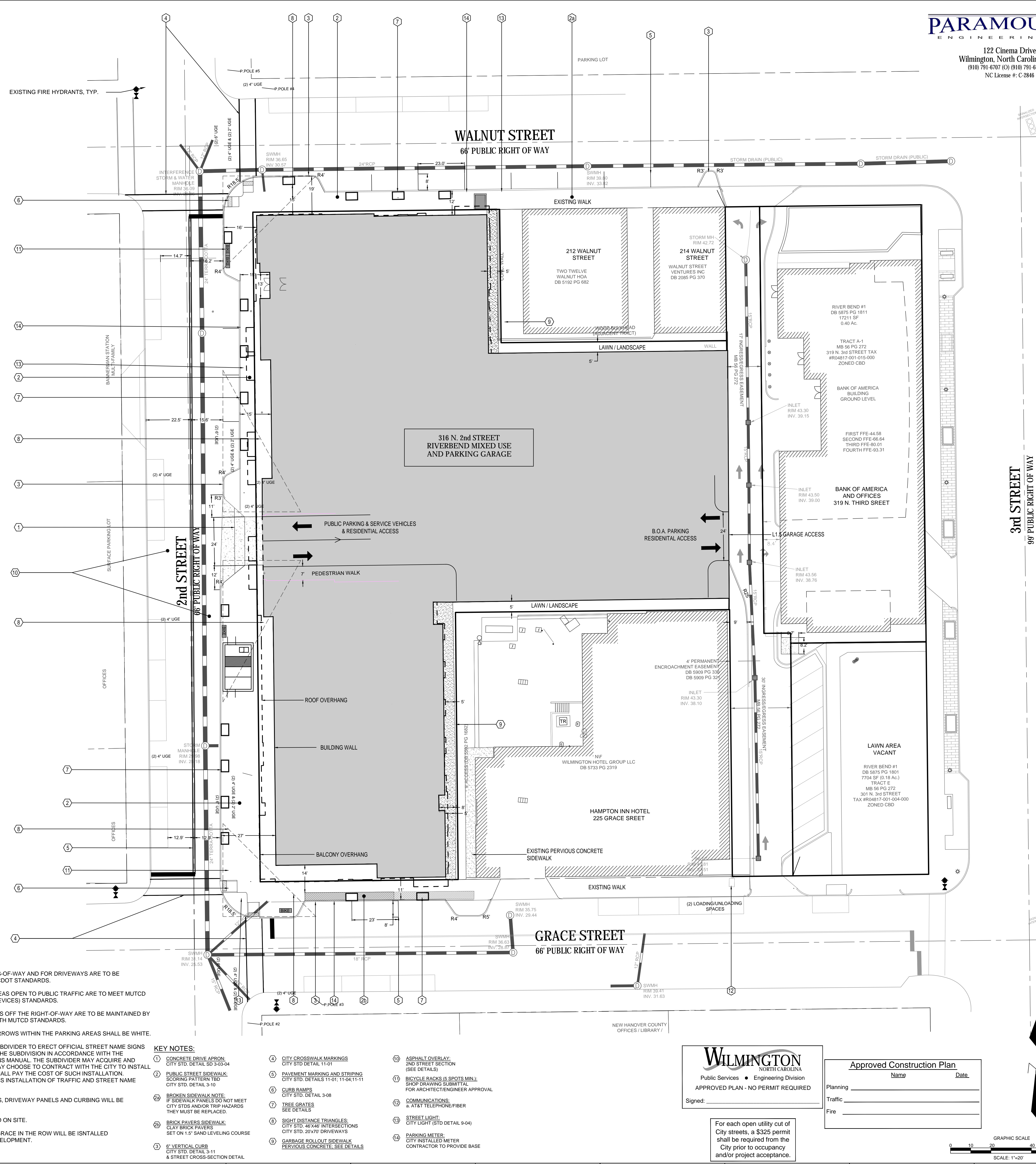
REVISIONS:

No.	Description	Date

PROJECT: 16163.PE
DATE: MARCH 19, 2019
DRAWN BY: RPB
CHECKED BY: JBS

SITE LAYOUT
C-2.0

SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN
DESIGN DEVELOPMENT



SITE DATA TABULATION

OWNER:	RIVERBEND #1, LLC
PROJECT:	RIVERBEND @ 2ND AND GRACE
PROJECT ADDRESS:	316 N. 2ND STREET
TAX PARCEL IDENTIFICATION #:	R04817-001-012-000, R04817-001-002-000, R04817-001-001-000, R04720-005-001-000, R04817-001-014-000, R04817-001-009-000
CURRENT ZONING:	CBD
CAMA LAND USE CLASSIFICATION:	URBAN
MINIMUM ALLOWABLE BUILDING HEIGHT:	100'
BY RIGHT BUILDING HEIGHT:	132'
MAXIMUM ALLOWABLE BUILDING HEIGHT:	VACANT LAND / AUTO PARKING
EXISTING LAND USE:	RETAIL / RESIDENTIAL
PROPOSED LAND USE:	59,222 SF (1.36 AC)
PROPOSED RIVERBEND RECOMBINATION LOT:	

SETBACK STANDARDS

MINIMUM FRONT SETBACK (2nd St.)	PROVIDED	REQUIRED
	1.8-7.5' ±	AT LEAST 50% OF BUILDING SET AT PROPERTY LINE
MINIMUM SIDE SETBACK (WALNUT ST.)	1.8-2.5' ±	AT LEAST 50% OF BUILDING SET AT PROPERTY LINE
MINIMUM SIDE SETBACK (GRACE ST.)	1.3-8.1' ±	0 FT.
MINIMUM REAR SETBACK ENCROACHMENT	0	BALCONIES INTO PUBLIC ROW PENDING CITY COUNCIL APPROVAL

SITE AND IMPERVIOUS INFORMATION

PROPOSED IMPERVIOUS AREA	46,975 (ROOFTOP = 49,230 SF)
TOTAL BUILDING (WITHIN PROPERTY)	2,740 SF
CONCRETE/SIDEWALKS (WITHIN PROPERTY)	5,549 SF
ALLEY PAVEMENT	800 SF (NOT COUNTED AS SCM)
PERVIOUS CONCRETE SIDEWALKS	56,064 SF
TOTAL PROPOSED IMP. AREA	
EXISTING IMPERVIOUS AREA (SW8 091026)	(ACTUAL - ALLOCATED)
TRACT A1 (BOA)	15,032 SF ± 15,687 ALLOCATED
TRACT B 'REVISION'	28,445 SF ± 28,948 ALLOCATED
TRACT SS (TRACT E)	2,593 SF ± 7,788 ALLOCATED
TOTAL SW8 091026	52,323 SF ALLOCATION
OTHER TRACTS NOT YET PERMITTED:	
TRACTS C, D, F, G, H =	25,694 SF (2,962 non-impervious)
EXISTING IMPERVIOUS TOTALS:	78,017 SF (62,323 ± 25,694)
TRACTS B, C, D, E, F, G, H =	

THEREFORE, UPDATED IMPERVIOUS RIVERBEND LOTS = 73,689 SF (56,064 ± 15,032 ± 2,593) 73,689 SF << 78,017. THEREBY 4,328 SF REMAINING (REDEVELOPMENT EXCLUSION PER NC GS 214.7a1 AND NC RULES 02H.1000 SW MGMT)

BUILDING INFORMATION

CONSTRUCTION TYPE:	II
NUMBER OF EXISTING BUILDINGS	0
NUMBER OF PROPOSED BUILDINGS	1 (6-STORIES)
NUMBER OF UNITS	110 UNITS
TOTAL AREA PER FLOORS:	
GROUND / L1.0:	
Retail	= 11,500 sf
Parking	= 18,867 sf (36 spaces)
Residential (Lobby-Service)	= 7,520 sf
L1.5:	
Parking	= 10,932 sf (10 spaces)
L2:	
Parking	= 23,823 sf (81 spaces)
Residential	= 24,100 sf
L3-L6:	
Parking	= 23,823 sf (78 spaces)
Residential	= 24,100 sf
L7:	
Parking	= 20,572 sf (65 spaces)
Residential	= 24,100 sf
TOTALS:	
Retail	= 11,500 sf
Parking	= 169,506 sf (504 spaces)
Residential	= 128,020 sf

PROPOSED BUILDING GSF	140,220 SF
PERCENT OPEN/GLAZED ALONG GRACE STREET:	50% PER CBD ZONING
PERCENT OPEN/GLAZED ALONG 2ND STREET:	50% PER CBD ZONING

PARKING GARAGE(S)

MINIMUM PARKING REQUIRED:	N/A
MAXIMUM PARKING ALLOWED:	N/A
TOTAL PARKING PROVIDED:	504 SPACES (TOTAL)
ACCESSIBLE PARKING REQUIRED:	11 SPACES (2%)
ACCESSIBLE PARKING PROVIDED:	11 SPACES DISPERSED ON EA. LEVEL
BICYCLE RACK(S)/SPACES PROVIDED:	(4) RACKS WITH 5 SPACES EA. (20 MIN.)

ON-STREET PARKING

EXISTING ALONG GRACE STREET:	4 SPACES (IN FRONT OF SITE)
PROPOSED ALONG GRACE STREET:	3 SPACES
EXISTING ALONG 2ND STREET:	4 SPACES (IN FRONT OF SITE)
PROPOSED ALONG 2ND STREET:	4 SPACES
EXISTING ALONG WALNUT STREET:	6 SPACES TO ALLEY
PROPOSED ALONG WALNUT STREET:	9 SPACES TO ALLEY

UTILITY INFORMATION
OVERHEAD/UNDERGROUND ELECTRIC
OVERHEAD LINES, TRANSFORMERS, AND TRAFFIC CABINETS ALONG 2ND STREET
PROPOSED TO BE BURIED BY DUKE ENERGY.
NOTE: OWNER TO CONTACT CITY OF WILMINGTON, AT&T, SPECTRUM, ETC. FOR OTHER OVERHEAD UTILITIES RELOCATION.

WATER & SEWER
MIXED RESIDENTIAL UNITS (110) = 27,000 GPD
11,500 SF RETAIL (MAX. 250 SEATS = 250x40 = 10,000 GPD)
TOTAL = 37,000 GPD REQUESTED

GAS SERVICE
TO BE DESIGNED AND SERVICED BY Piedmont Natural Gas/Duke Energy

- GENERAL NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - THERE ARE NO REGULATED TREES LOCATED ON SITE.
 - STREET LIGHTS ALONG WALNUT, 2ND, AND GRACE IN THE ROW WILL BE INSTALLED BY RIVERBEND #1, LLC AS PART OF THE DEVELOPMENT.

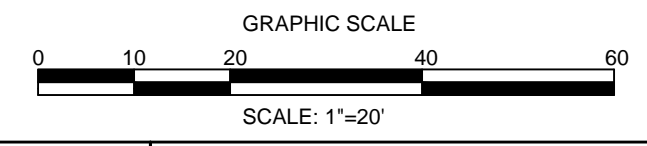
- KEY NOTES:**
- CONCRETE DRIVE APRON: CITY STD. DETAIL SD 3-03-04
 - PUBLIC STREET SIDEWALK SCORING PATTERN TBD CITY STD. DETAIL 3-10
 - BROKEN SIDEWALK NOTE: IF SIDEWALK PANELS DO NOT MEET CITY STD. AND/OR TRIP HAZARDS THEY MUST BE REPLACED.
 - BRICK PAVERS SIDEWALK: CLAY BRICK PAVERS SET ON 1" SAND LEVELING COURSE
 - VERTICAL CURB: CITY STD. DETAIL 3-11 & STREET CROSS-SECTION DETAIL
 - CITY CROSSWALK MARKINGS: CITY STD. DETAIL 11-01
 - PAVEMENT MARKING AND STRIPING: CITY STD. DETAILS 11-01, 11-04, 11-11
 - CURB RAMPS: CITY STD. DETAIL 3-08
 - TREE GRATES: SEE DETAILS
 - SIGHT DISTANCE TRIANGLES: CITY STD. 46748' INTERSECTIONS CITY STD. 29740' DRIVEWAYS
 - GARBAGE ROLL-OUT SIDEWALK: PERVIOUS CONCRETE. SEE DETAILS
 - ASPHALT OVERLAY: 2ND STREET SECTION (SEE DETAILS)
 - BICYCLE RACKS (8 SPOTS MIN.): SHOP DRAWING SUBMITTAL FOR ARCHITECT/ENGINEER APPROVAL
 - COMMUNICATIONS: AT&T TELEPHONE/FIBER
 - STREET LIGHT: CITY LIGHT (STD. DETAIL 9-04)
 - PARKING METER: CITY INSTALLED METER CONTRACTOR TO PROVIDE BASE

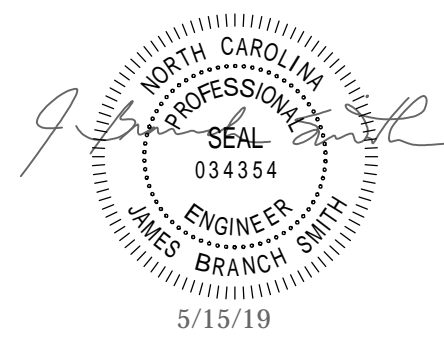
WILMINGTON
Public Services • Engineering Division
APPROVED PLAN - NO PERMIT REQUIRED
Signed: _____

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.





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REVISIONS:

No.	Description	Date

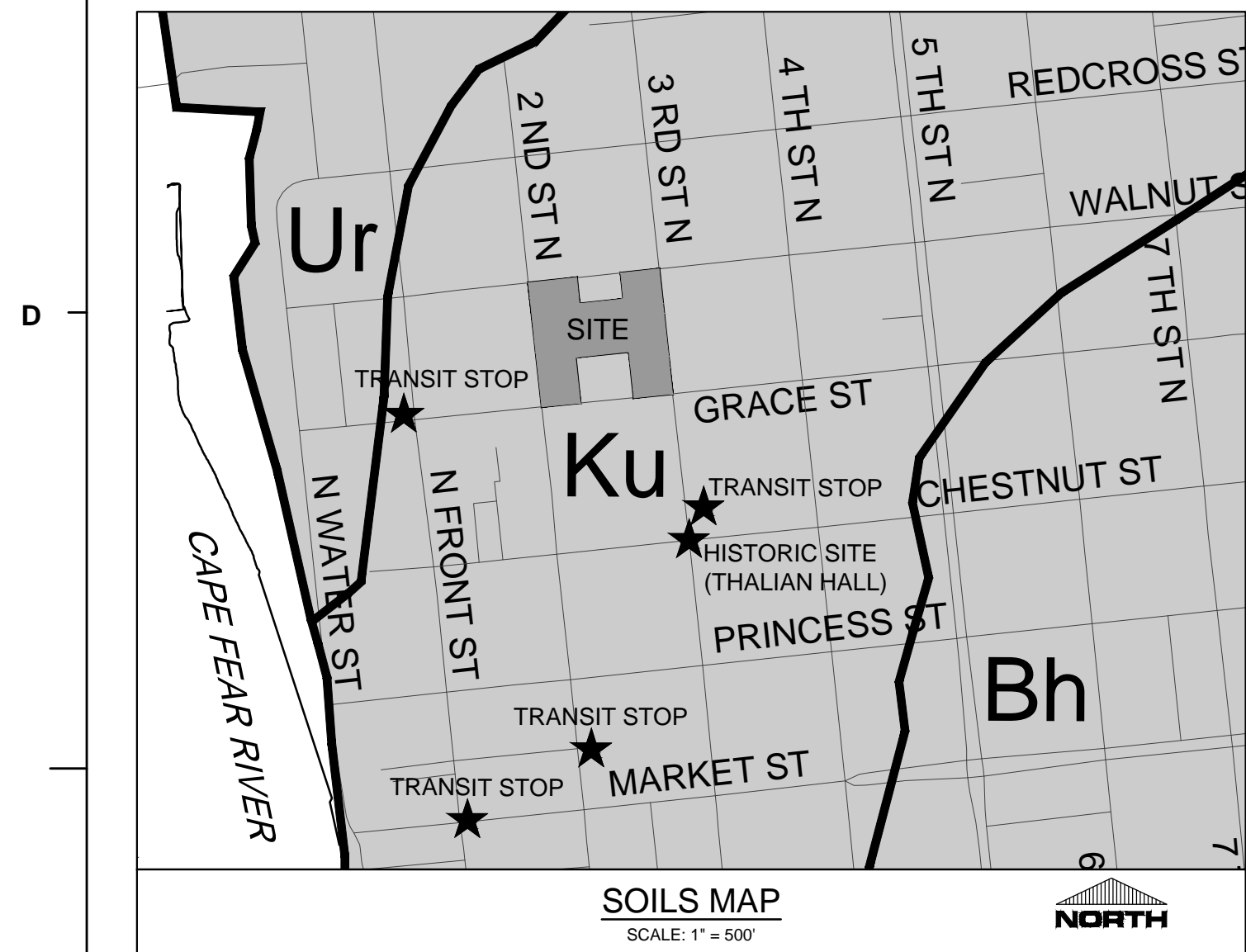
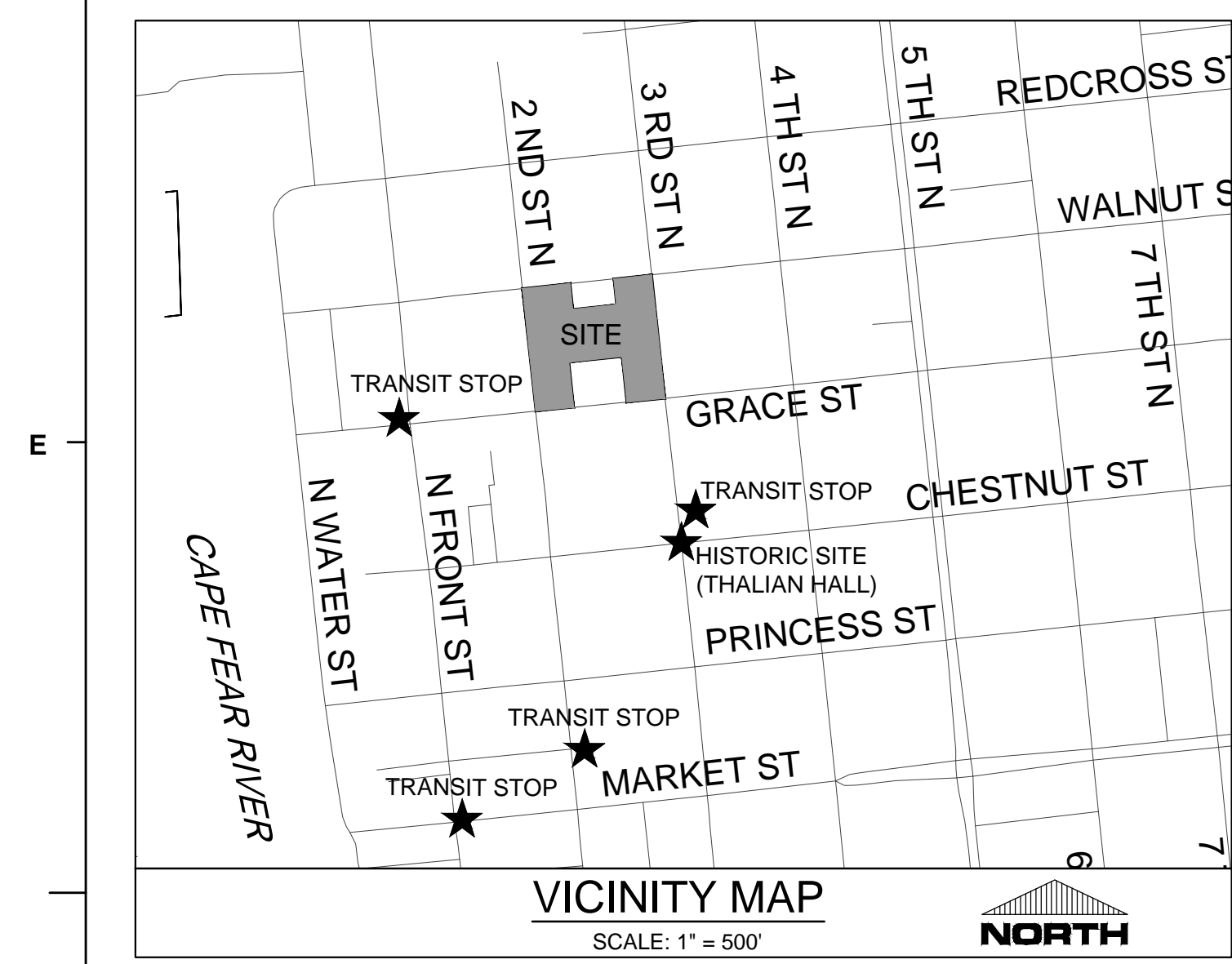
PROJECT: 16163.PE
DATE: MARCH 21, 2019
DRAWN BY: RPB
CHECKED BY: JBS

**SITE INVENTORY
MAP**

C-2.1

SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN

DESIGN DEVELOPMENT

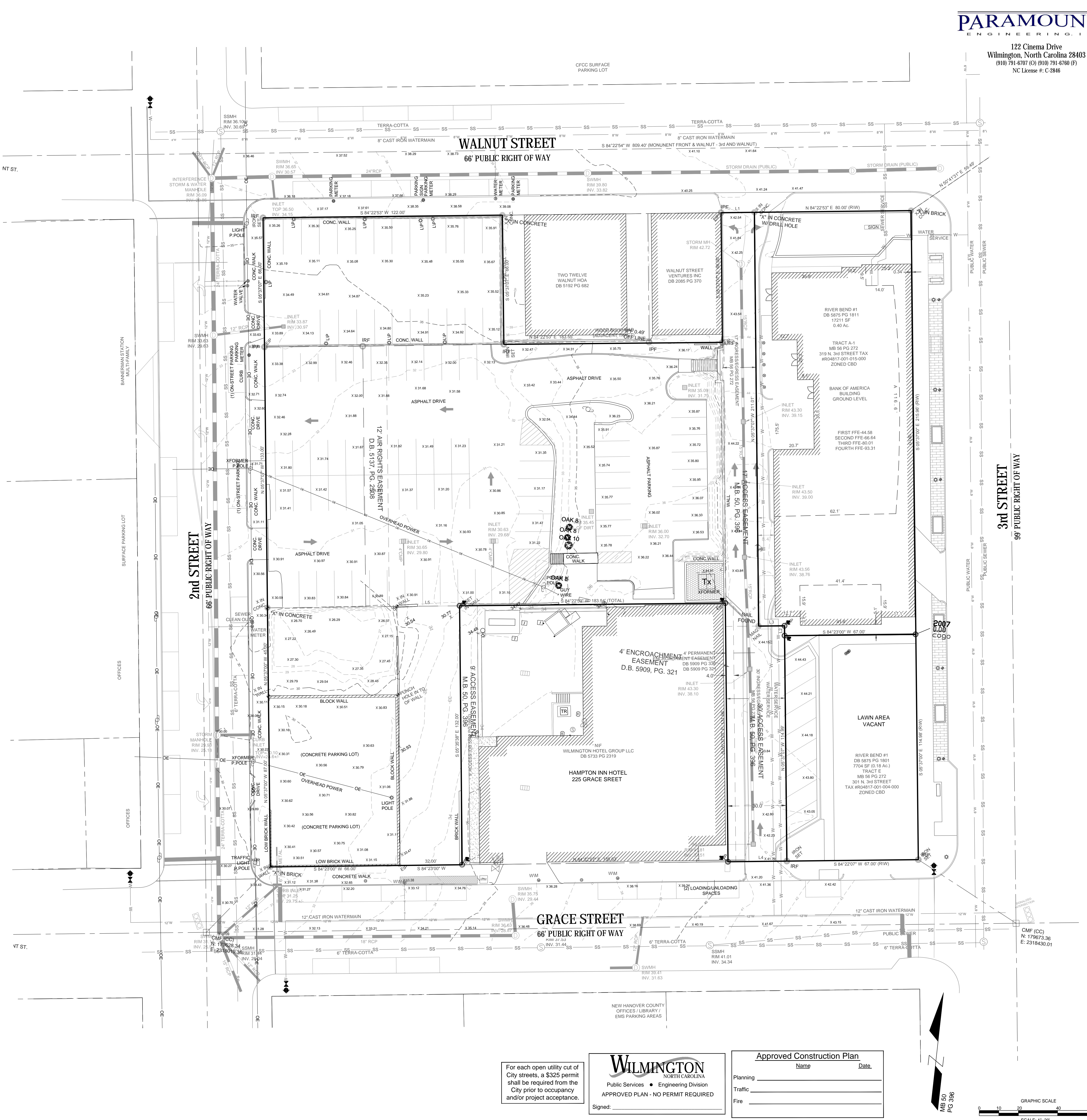


SITE INVENTORY DATA

- PREPARER OF THE PLAN: PARAMOUNTE ENGINEERING
122 CINEMA DRIVE
WILMINGTON, NC 28403
- APPLICANT NAME: RIVERBEND #1, LLC
- SITE ADDRESS: 229 GRACE STREET
WILMINGTON, NC 28401
- PROPERTY OWNER: RIVERBEND #1, LLC
- DEVELOPER: RIVERBEND #1, LLC
- PROPERTY BOUNDARY: RECOMBINATION PLAT
- ZONING: CBD
- ADJACENT PROPERTY INFORMATION (OWNER AND ZONING): SEE PLAN
- VICINITY MAP: SEE MAP ABOVE
- TOPOGRAPHY: SEE PLAN
- 100 YEAR FLOOD PLAIN BOUNDARY: SITE IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN
- LOCATION OF EXISTING DITCHES, CREEKS, AND STREAMS: N/A
- SOILS: KUREB (KU)
(SEE SOILS MAP ABOVE)
- CAMA AEC & ASSOCIATED SETBACKS: N/A
- CAMA LAND CLASSIFICATION: URBAN
- CONSERVATION RESOURCES: N/A
- LOCAL, STATE, OR FEDERAL HISTORIC OR ARCHAEOLOGICAL SITE: N/A
- LOCATION OF CEMETERIES, BURIAL SITES, OR BURIAL GROUNDS: N/A
- SQUARE FOOTAGE OF FORESTED AREA, HABITAT, AND DOMINANT SPECIES: N/A
- SECTION 404 WETLANDS AND SECTION 10 WATERS: N/A
- PROTECTED SPECIES OR HABITAT: N/A
- THOROUGHFARES, BIKE ROUTES, SIDEWALKS, TRANSIT FACILITIES (EXISTING OR PROPOSED): T.B.D.

LEGEND:

— OHE —	OVERHEAD ELECTRIC
— UGT —	BURIED TELEPHONE LINE
— G —	BURIED GAS LINE
— UTV —	BURIED TV CABLE
— FO —	BURIED FIBER OPTIC
— W —	WATER LINE
— FM —	FORCEMAIN LINE
— SS —	SANITARY SEWER LINE
— SD —	STORM DRAINAGE LINE
— WET —	WETLAND DELINEATION
— X —	CHAINLINK FENCE
— 15 —	EXISTING CONTOUR
— —	RIGHT OF WAY BOUNDARY
— —	BOUNDARY LINE
— —	ADJOINER LINE

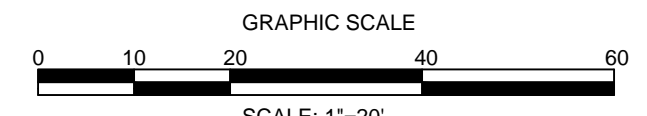


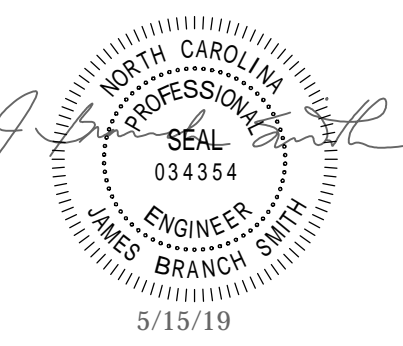
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WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED PLAN - NO PERMIT REQUIRED
Signed: _____

Approved Construction Plan

Name	Date
Planning	_____
Traffic	_____
Fire	_____





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REVISIONS:

No.	Description	Date

PROJECT: 16163.PE
DATE: APRIL 01, 2019
DRAWN BY: CDR
CHECKED BY: JBS

DEMOLITION & EROSION CONTROL PLAN

C-2.2

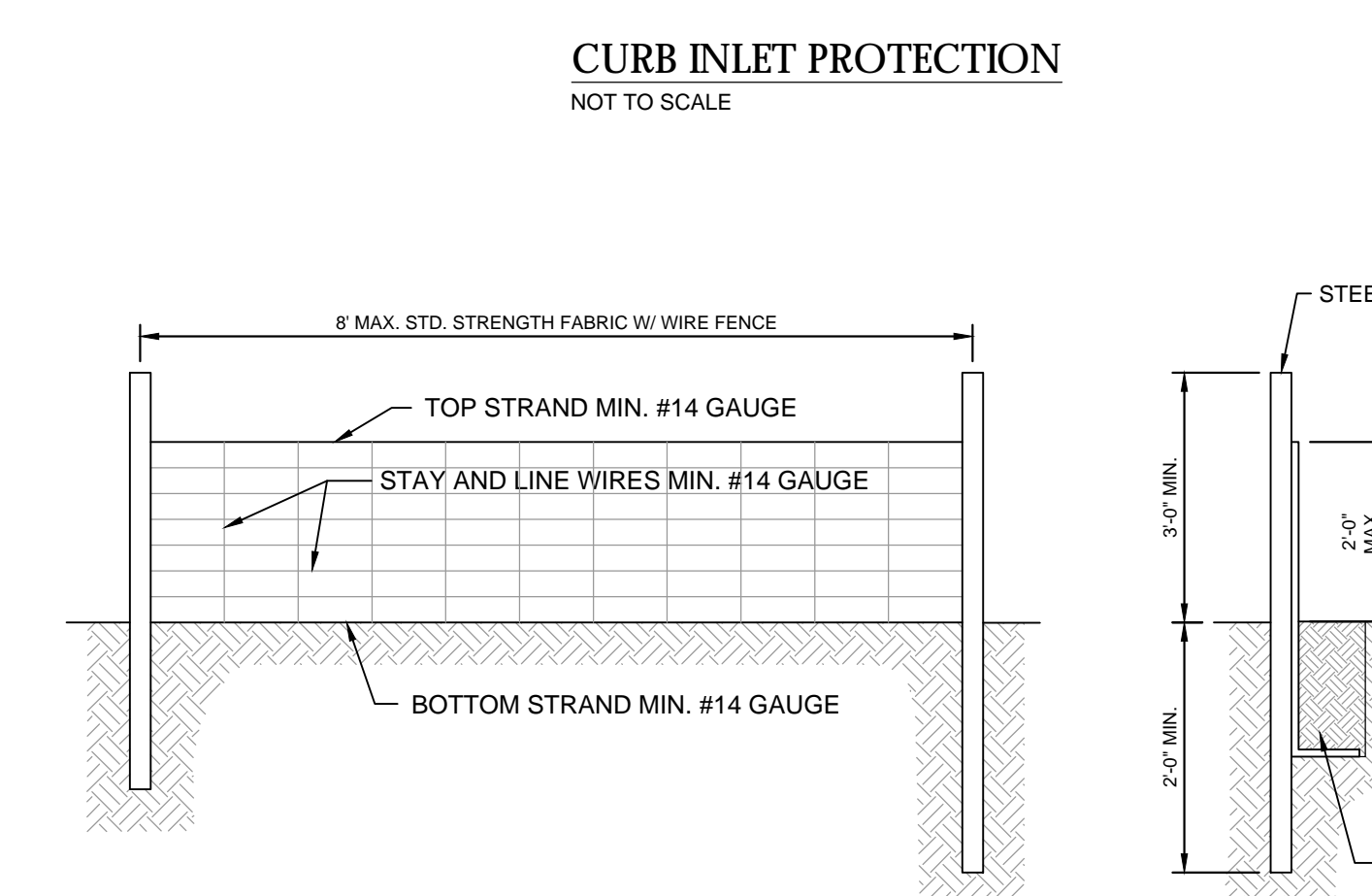
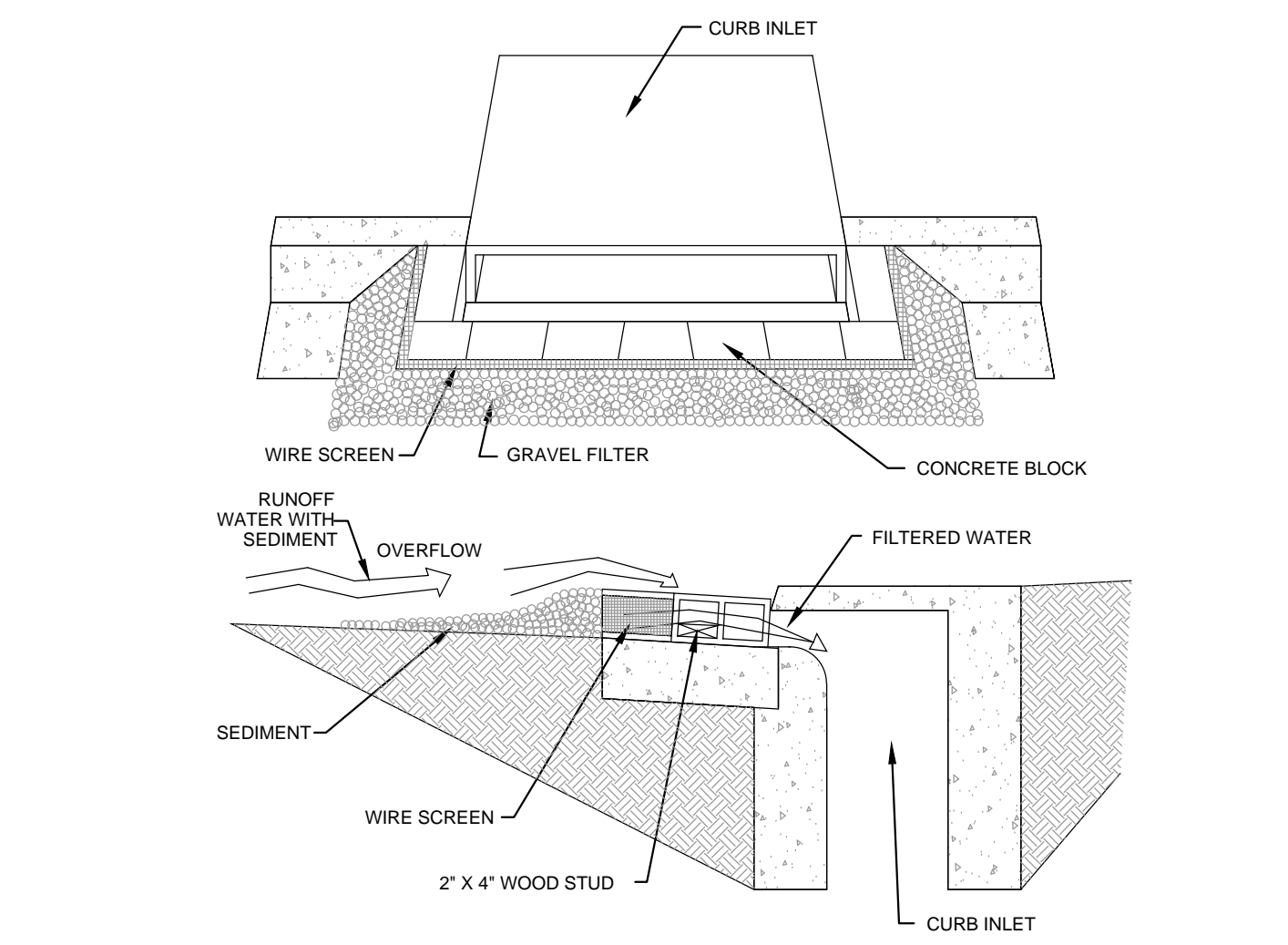
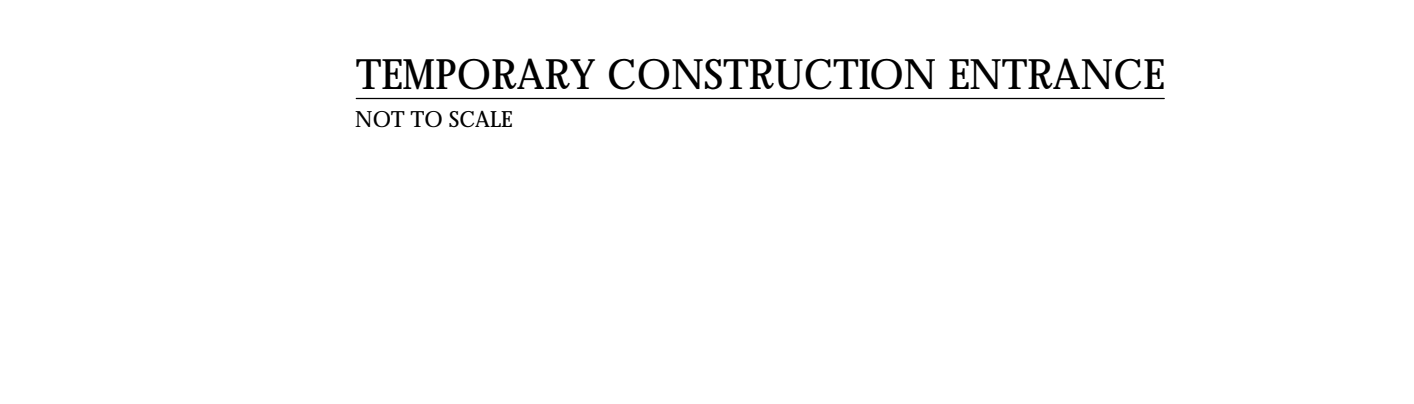
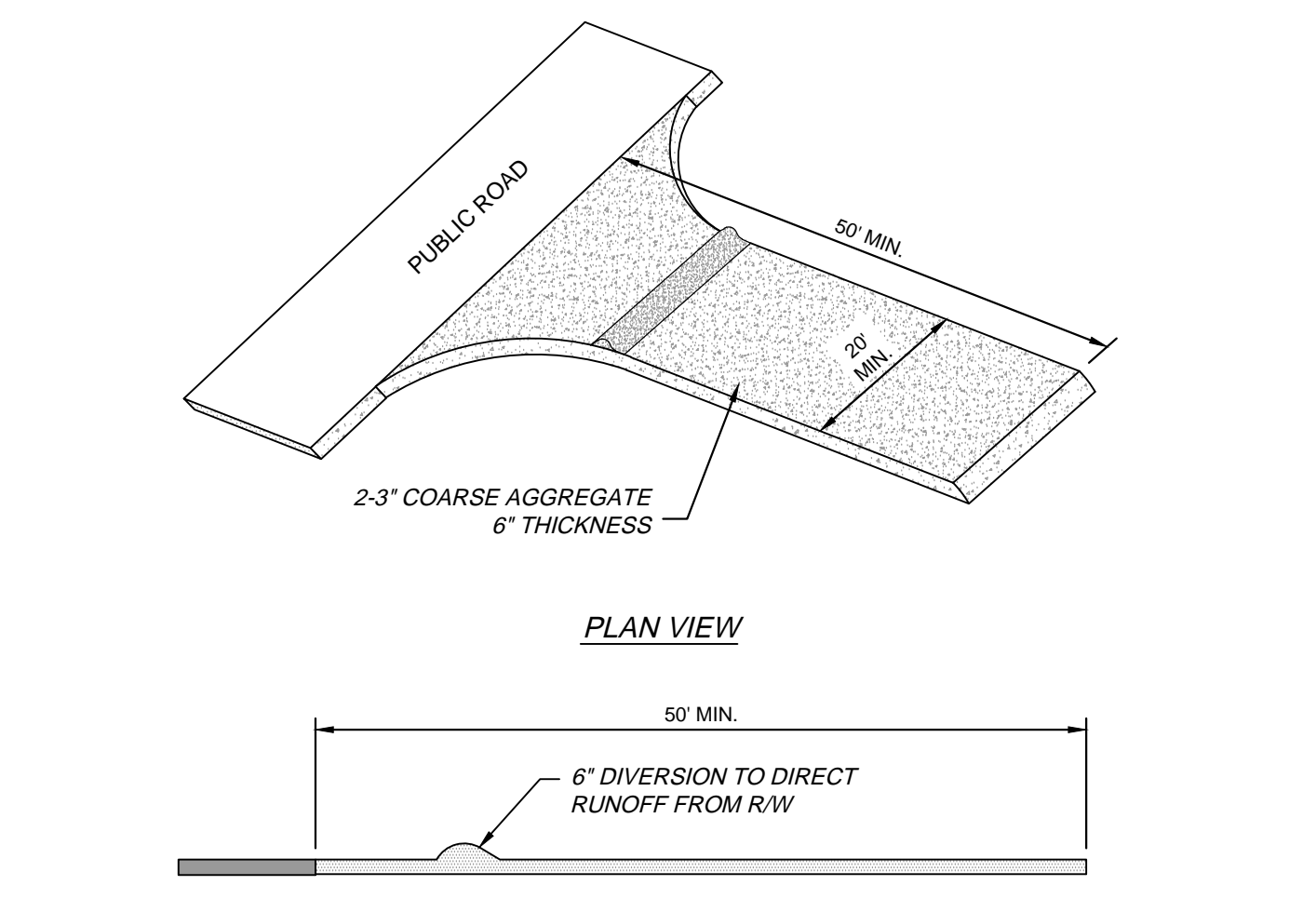
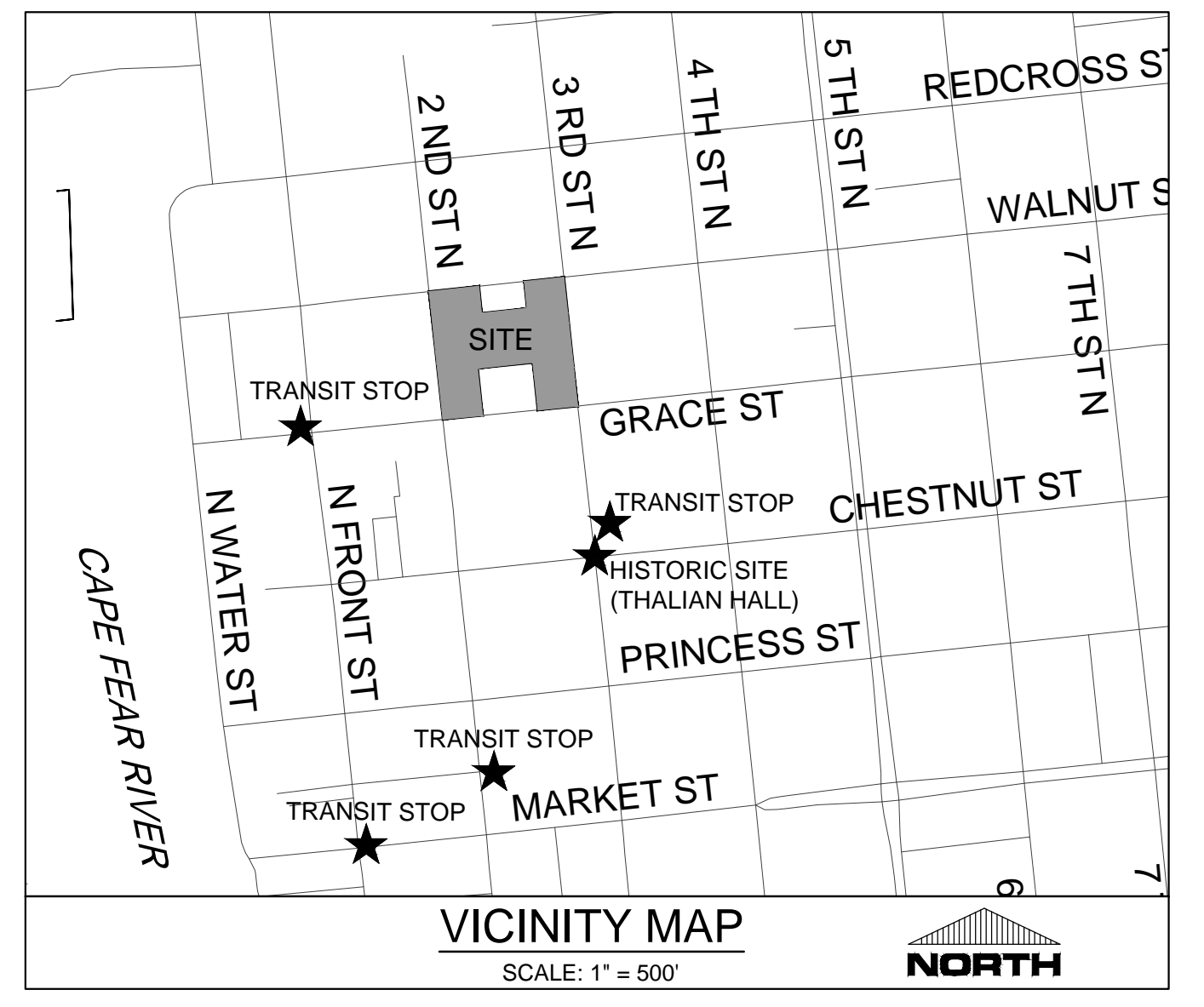
SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN

DESIGN DEVELOPMENT

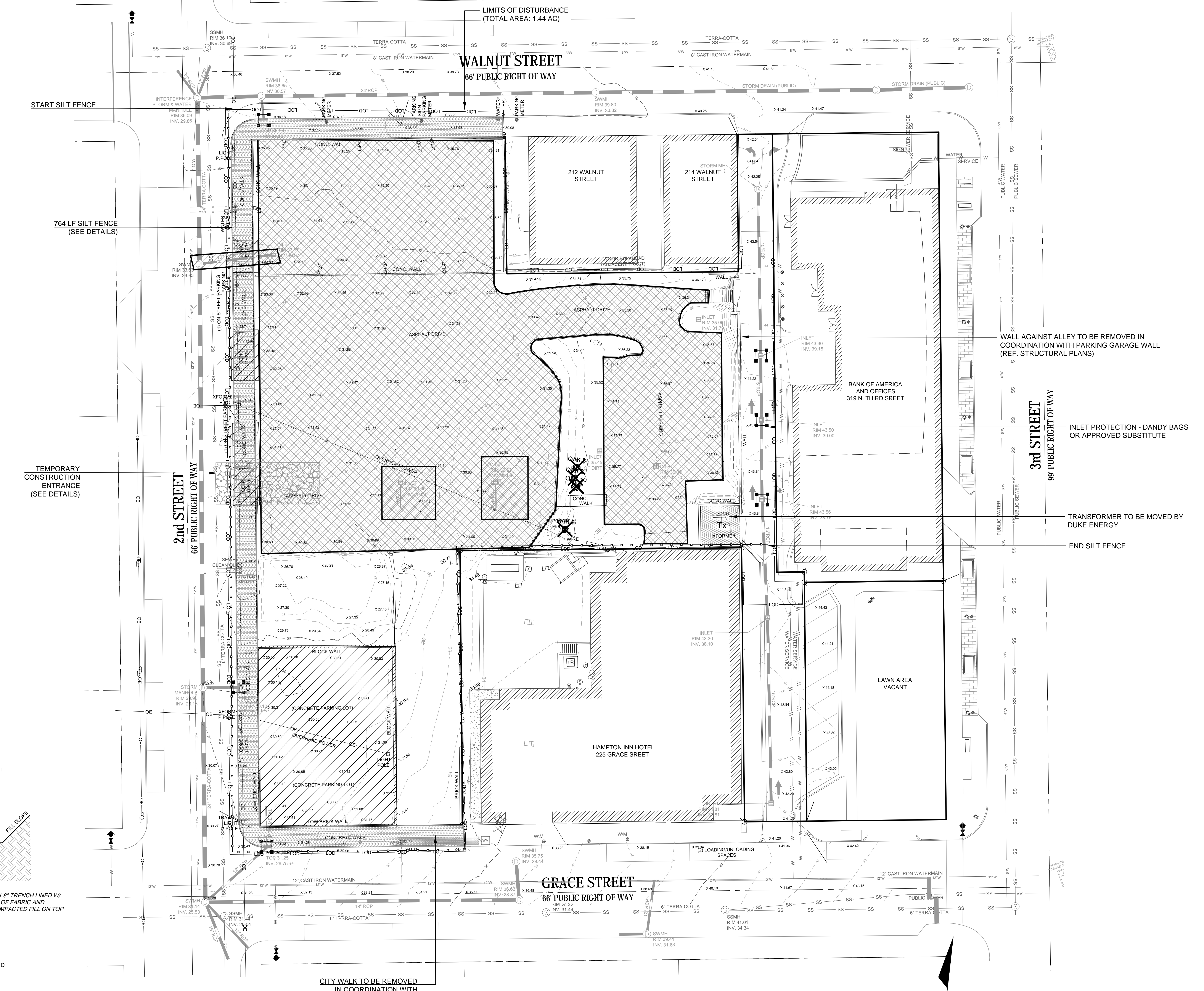
DEMOLITION LEGEND

	ASPHALT PAVEMENT 32,252 SF		TREE DEMO
	CONCRETE PAVEMENT 6,734 SF		INLET PROTECTION TO REMAIN DURING DEMOLITION
	STORM PIPE REMOVAL UNKNOWN LF		
	CITY SIDEWALK 5,675 SF		

NOTES:
1. OVERHEAD ELECTRIC AND POLES TO BE REMOVED BY DUKE ENERGY.
2. ALL CONCRETE/BRICK/TIMBER WALLS SHALL BE REMOVED WITHIN THE PROJECT BOUNDARY.



- NOTES:
1. WIRE FENCE (IF USED) SHALL BE MINIMUM 14 GAUGE WITH A MAXIMUM MESH OPENING OF 6-INCHES.
 2. SYNTHETIC FILTER FABRIC OF AT LEAST 95% BY WEIGHT OF POLYPROPYLENE OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6461 AND ALSO SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS ACCORDING TO ASTM D 4355.
 3. SEE THE NC EROSION CONTROL MANUAL FOR SPECIFICATIONS INSTALLING SEDIMENT FENCE USING THE SLICING METHOD MACHINERY.

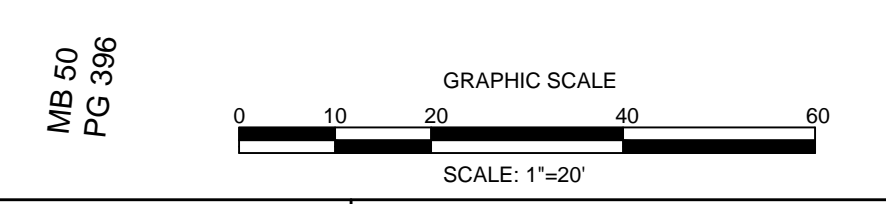


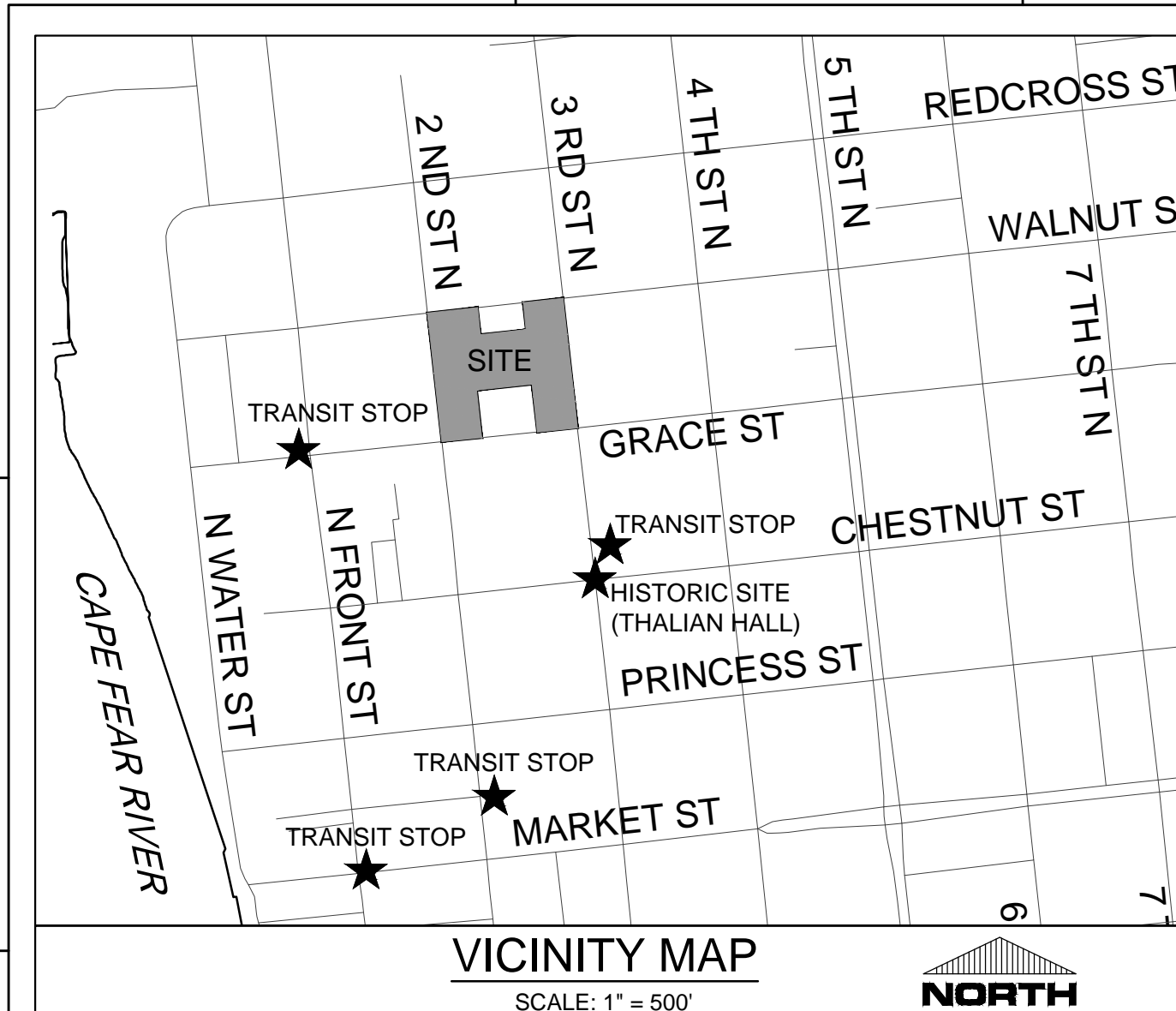
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WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED PLAN - NO PERMIT REQUIRED
Signed: _____

Approved Construction Plan

Name	Date
Planning	_____
Traffic	_____
Fire	_____





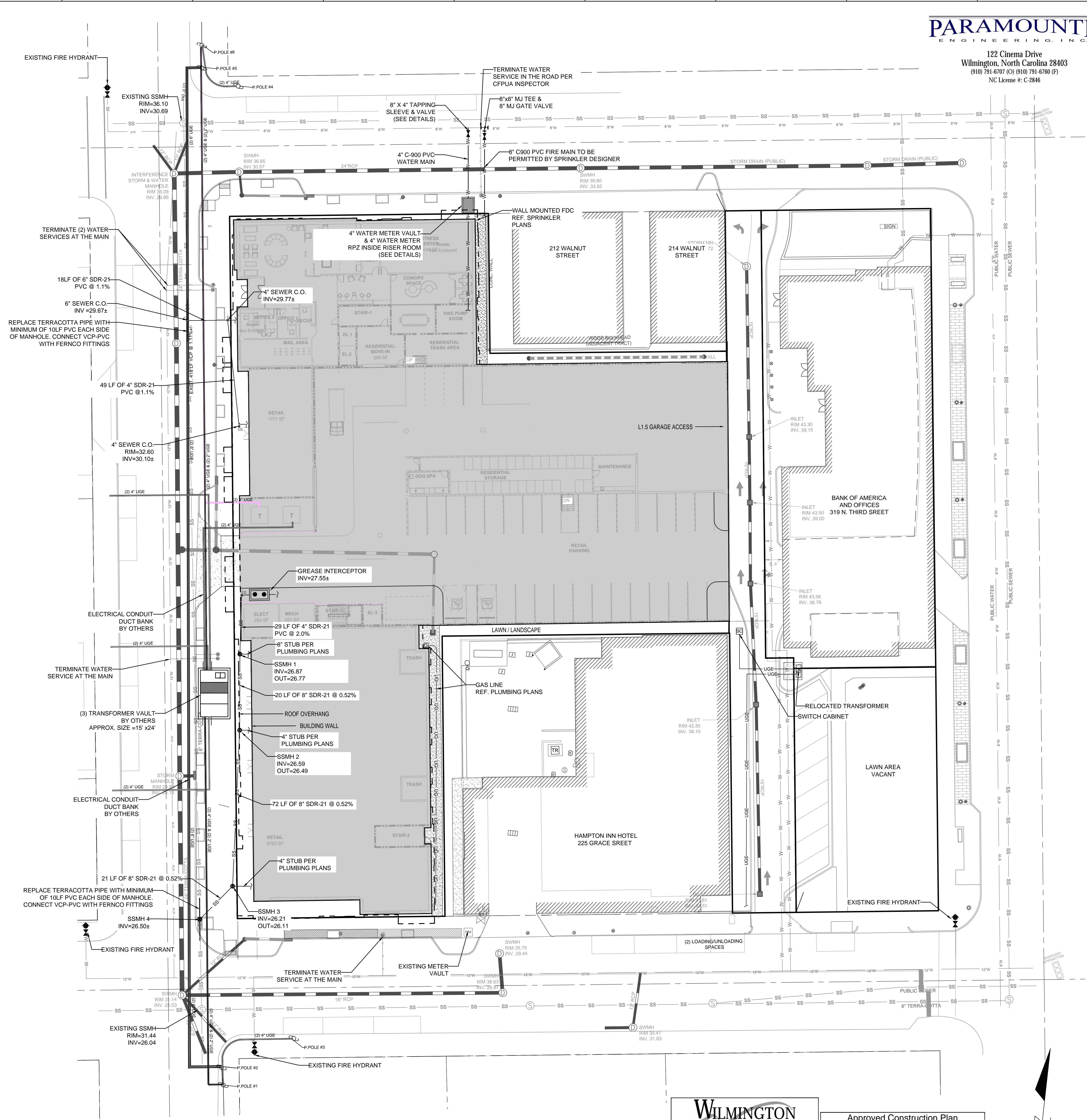
- CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:**
- SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
 - SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT R/W LINE. SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
 - ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50 DIP WITH PROTECTO KIT CERAMIC EPOXY LINING.
 - NO FLEXIBLE COUPLINGS SHALL BE USED.
 - ALL STAINLESS STEEL FASTENERS SHALL BE 316.

UTILITY MAIN NOTES (NCAC 15A.02T.0305/T15A.18C.0906:

- WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
- WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE WATERTIGHT REINFORCED CONCRETE PIPE JOINTS.
- WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE WATERTIGHT REINFORCED CONCRETE PIPE JOINTS.

FIRE AND LIFE SAFETY NOTES

- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGS WITHIN ANY DEVELOPMENT.
- HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- A MINIMUM OF 4-FT SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- UNDERGROUND FIRE LINES FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING(S) MUST BE PERMITTED & INSPECTED BY THE BUILDING INSPECTOR/CITY OF WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-6686.
- CONSTRUCTION TYPE (SPRINKLED).
- FIRE DEPARTMENT CONNECTIONS (FDCs) MUST BE ON THE FRONT OF THE BUILDING UNLESS OTHERWISE APPROVED. FDC MUST BE WITHIN 40-FT OF THE FIRE APPARATUS PLACEMENT. HYDRANTS MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES).
- CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.

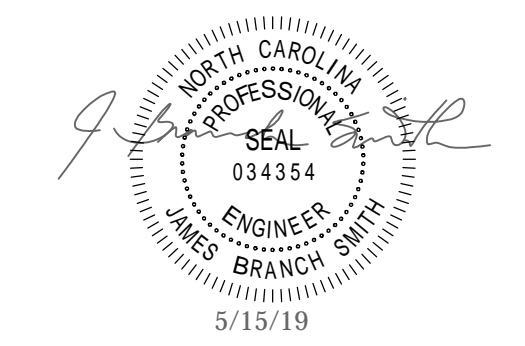


PARAMOUNTE ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (C) (910) 791-6700 (F)
 NC License # C-2846

RIVERBEND #1, LLC
 P.O. BOX 1087
 WEST END, NC 27376

RIVERBEND
 316 N. 2ND STREET

LS3P
 LS3P ASSOCIATES LTD.
 101 NORTH THIRD STREET, SUITE 500
 WILMINGTON, NORTH CAROLINA 28401
 TEL. 910.790.9901 FAX 910.790.3111
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REVISIONS:

No.	Description	Date

PROJECT: 16163.PE
 DATE: APRIL 17, 2019
 DRAWN BY: CDR
 CHECKED BY: JBS

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED PLAN - NO PERMIT REQUIRED
 Signed: _____

Approved Construction Plan

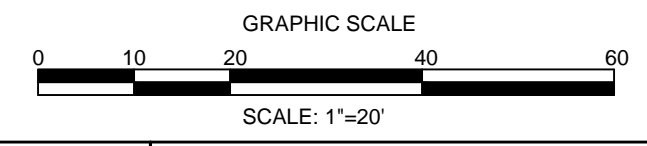
Name _____ Date _____

Planning _____

Traffic _____

Fire _____

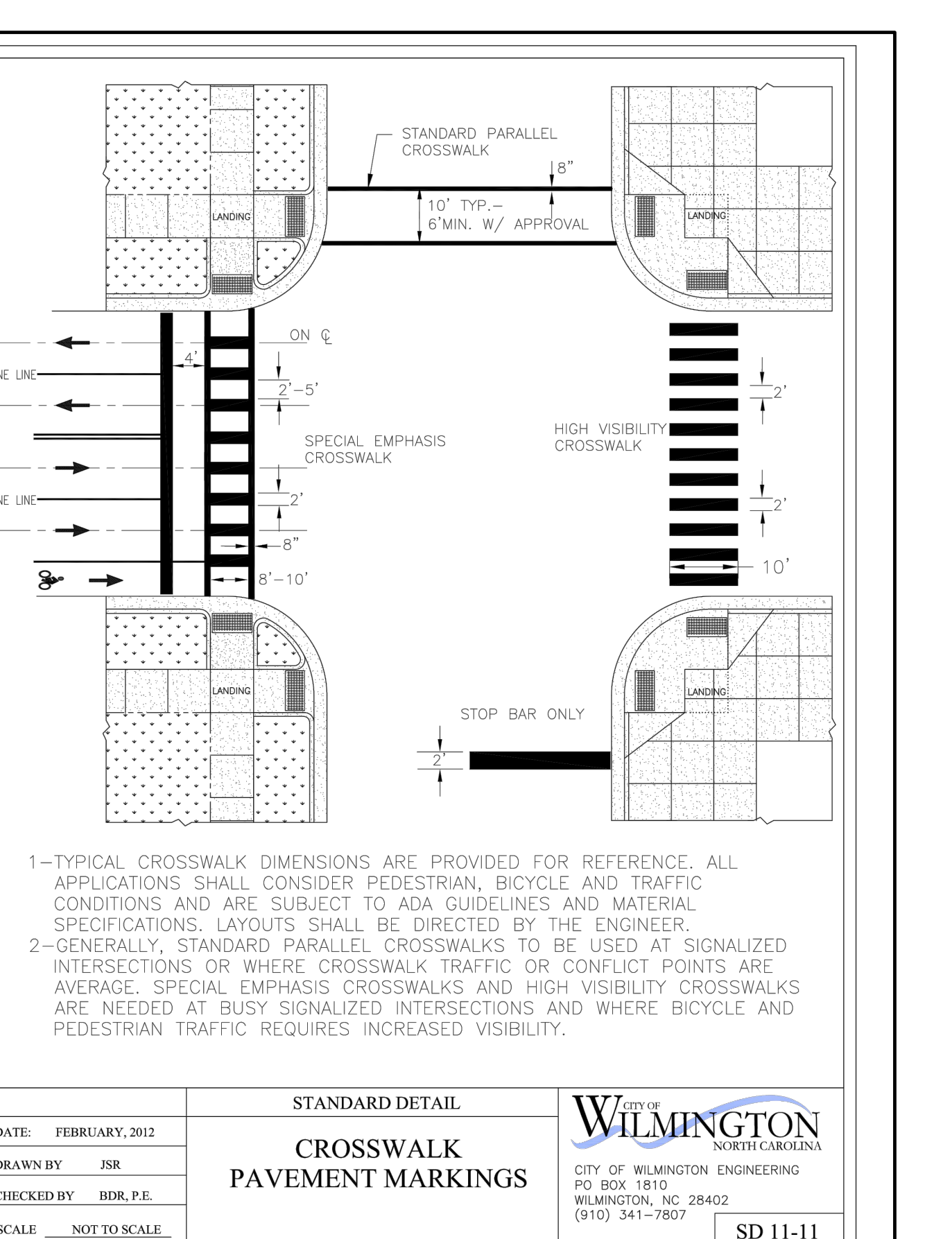
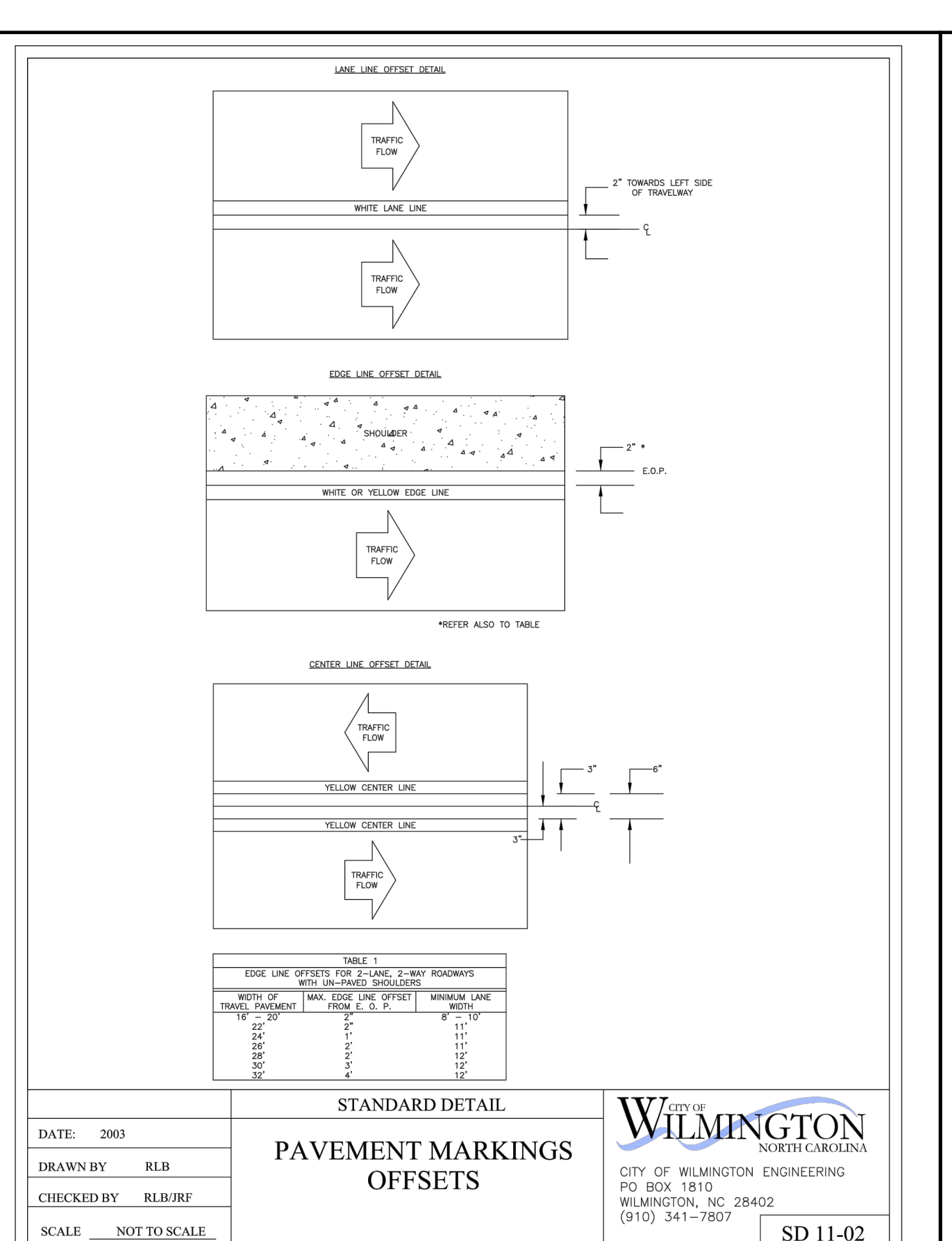
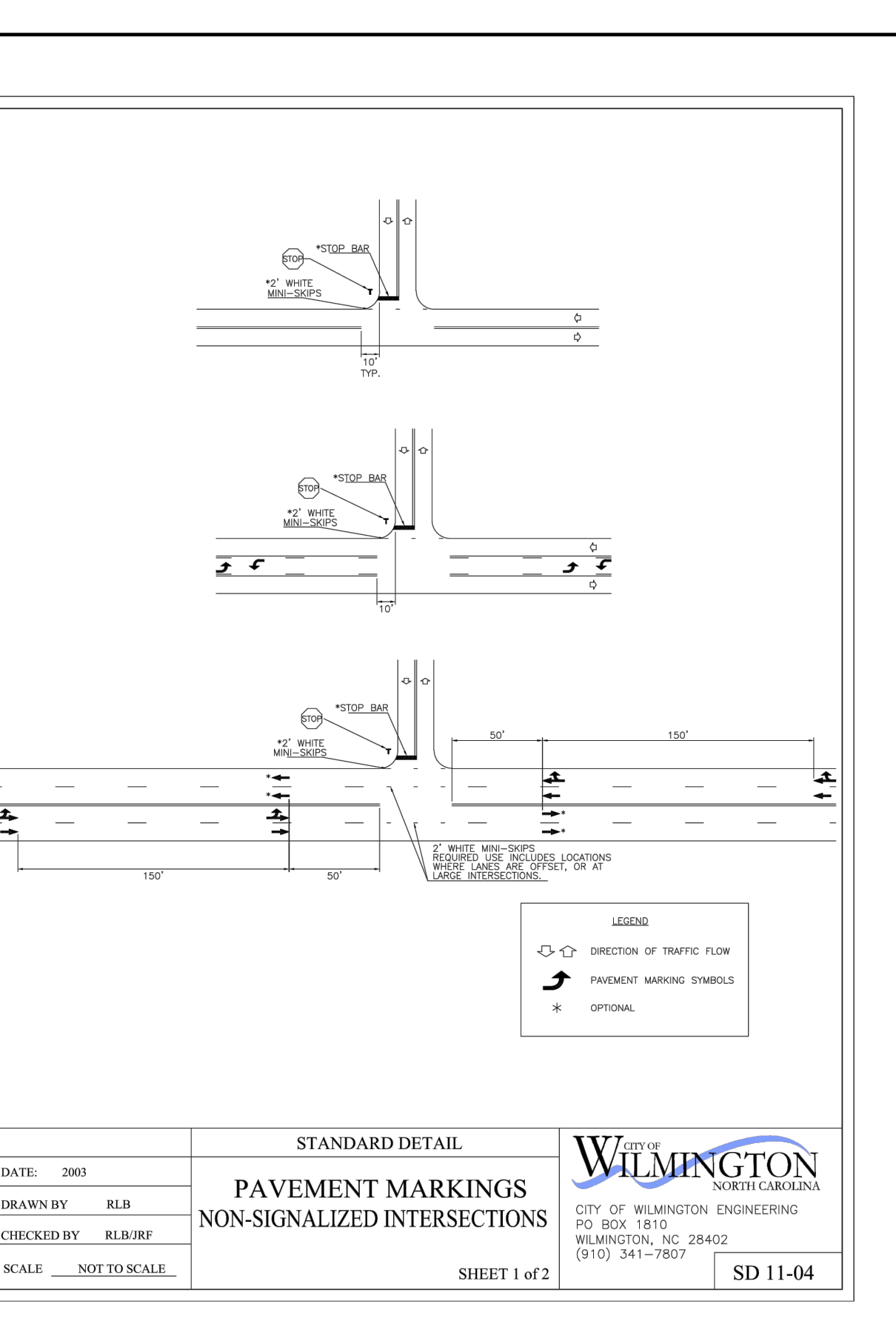
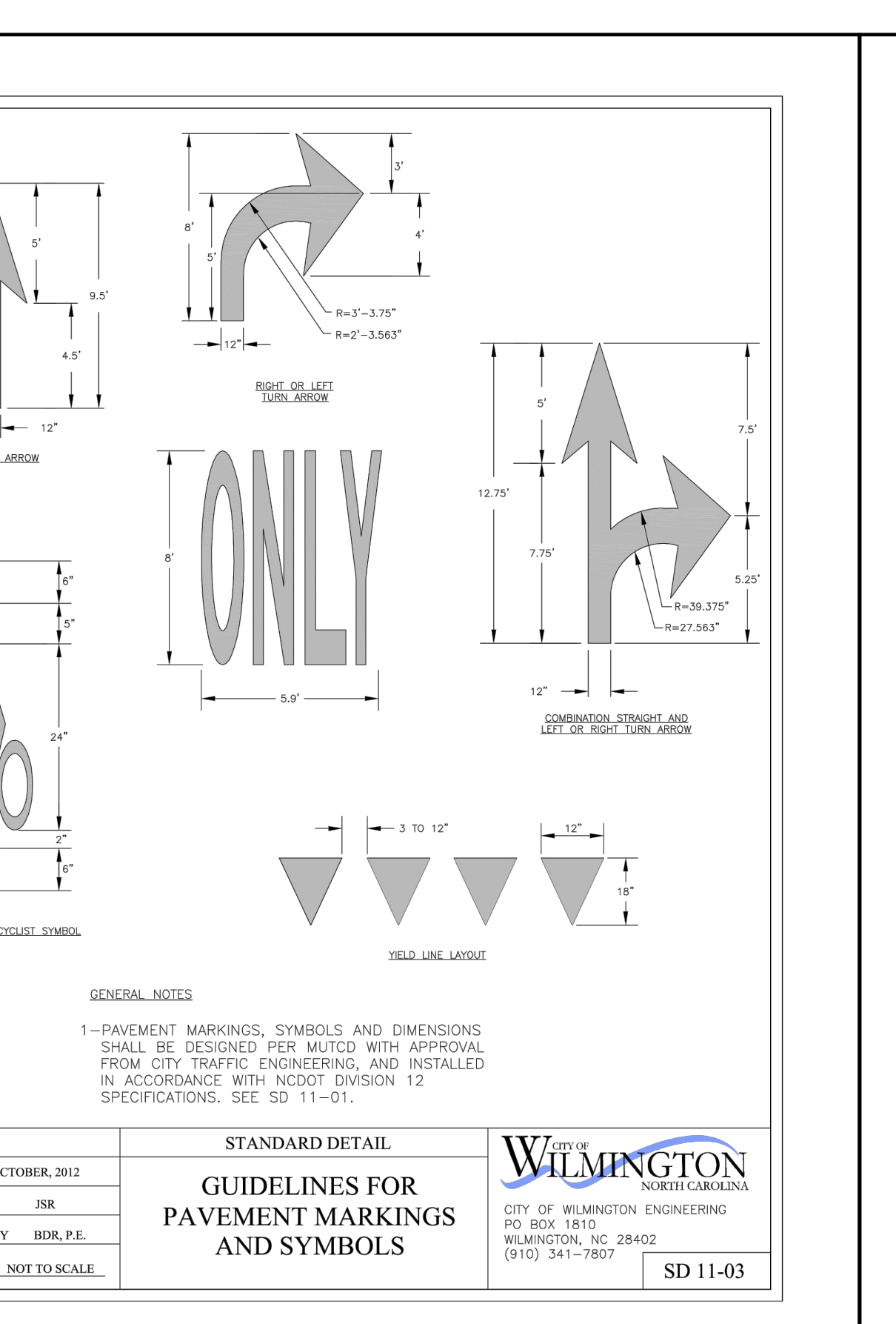
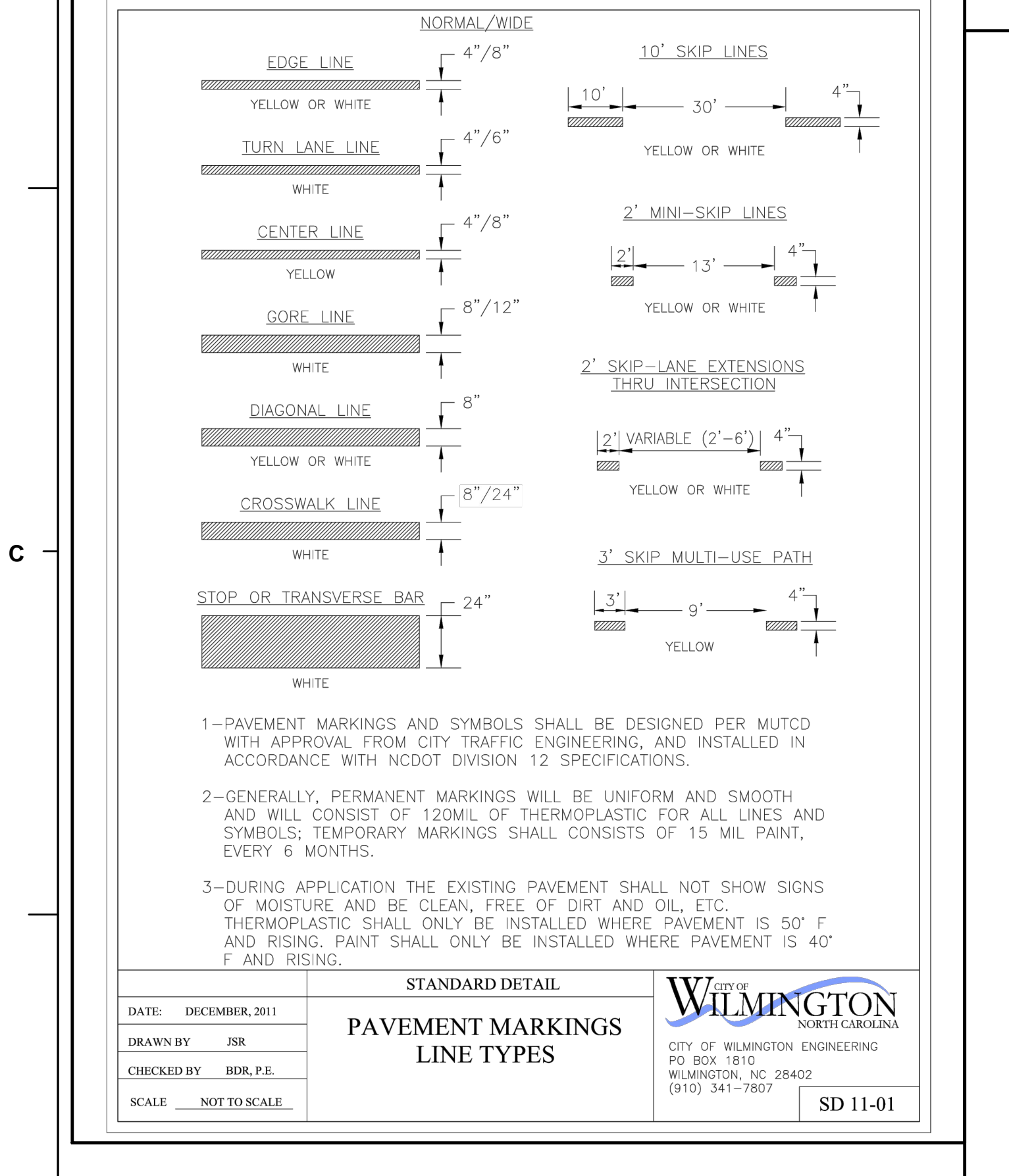
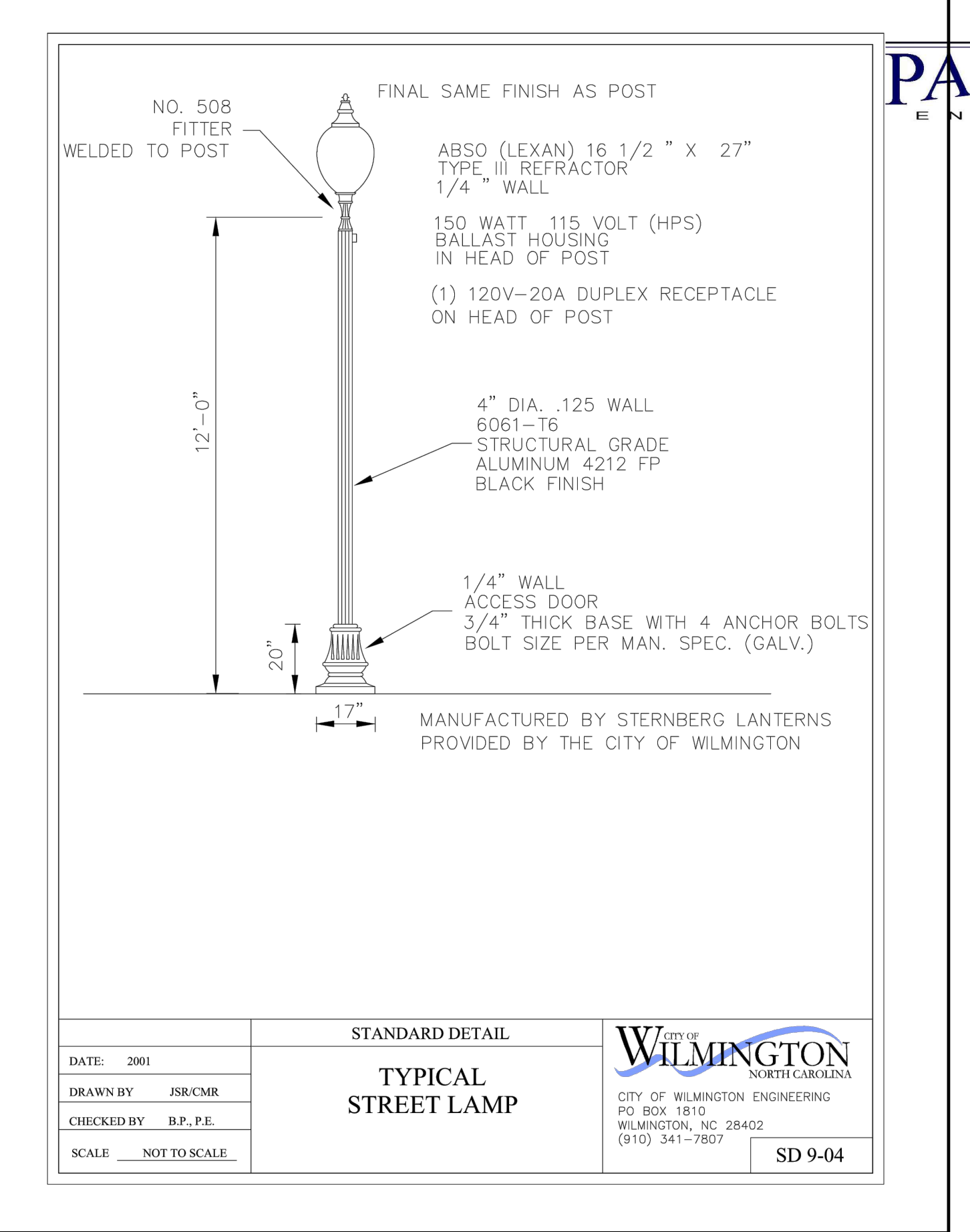
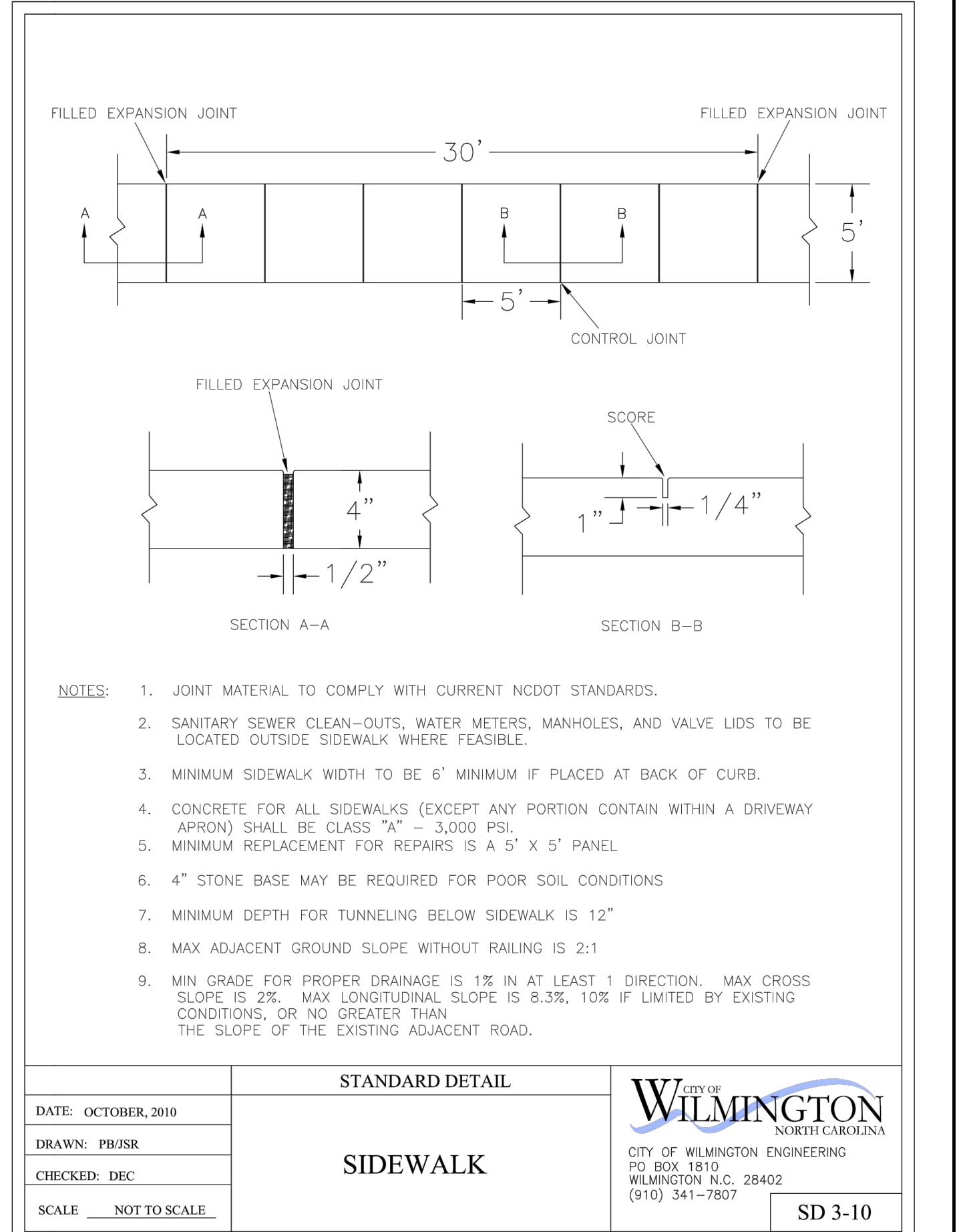
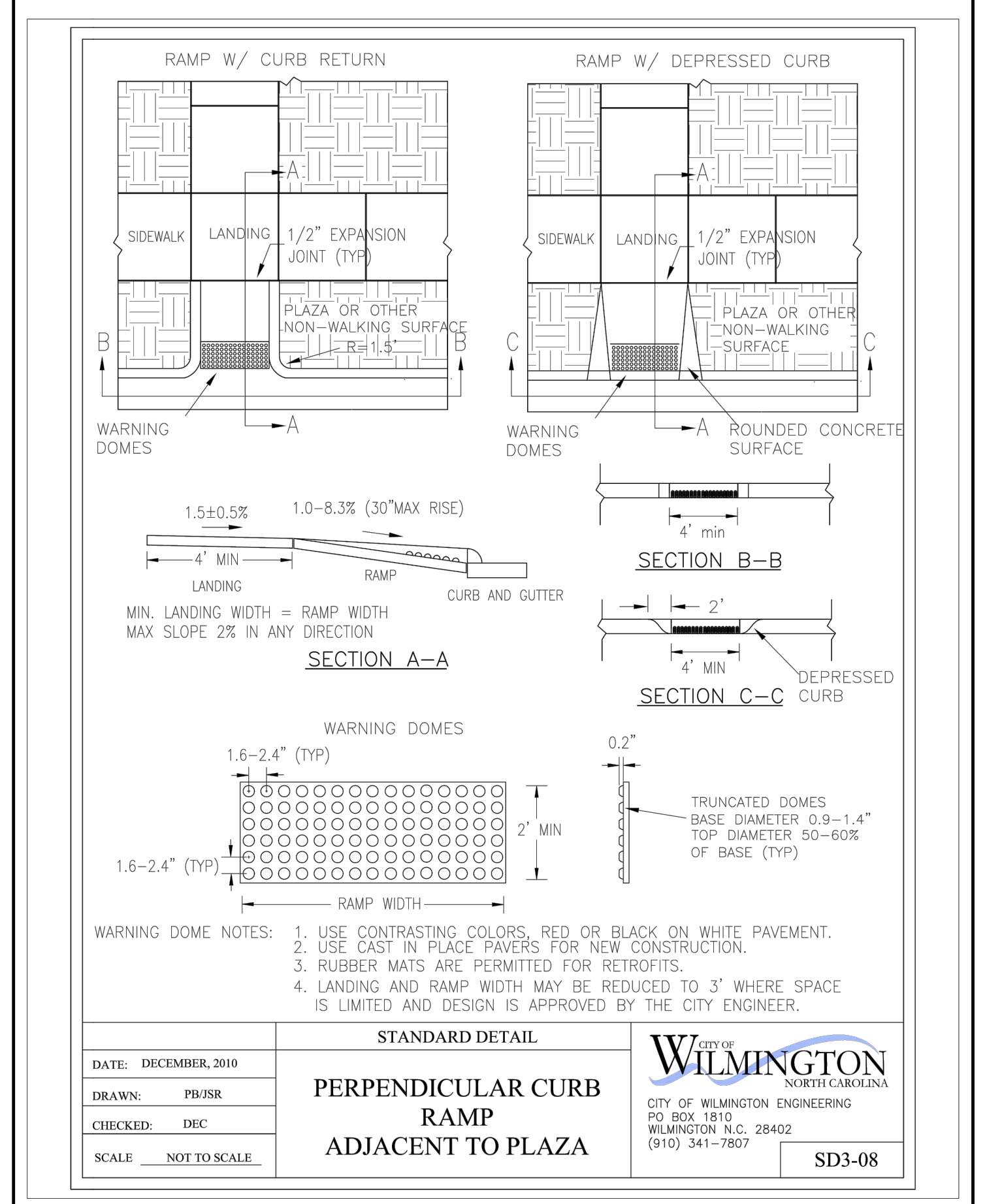
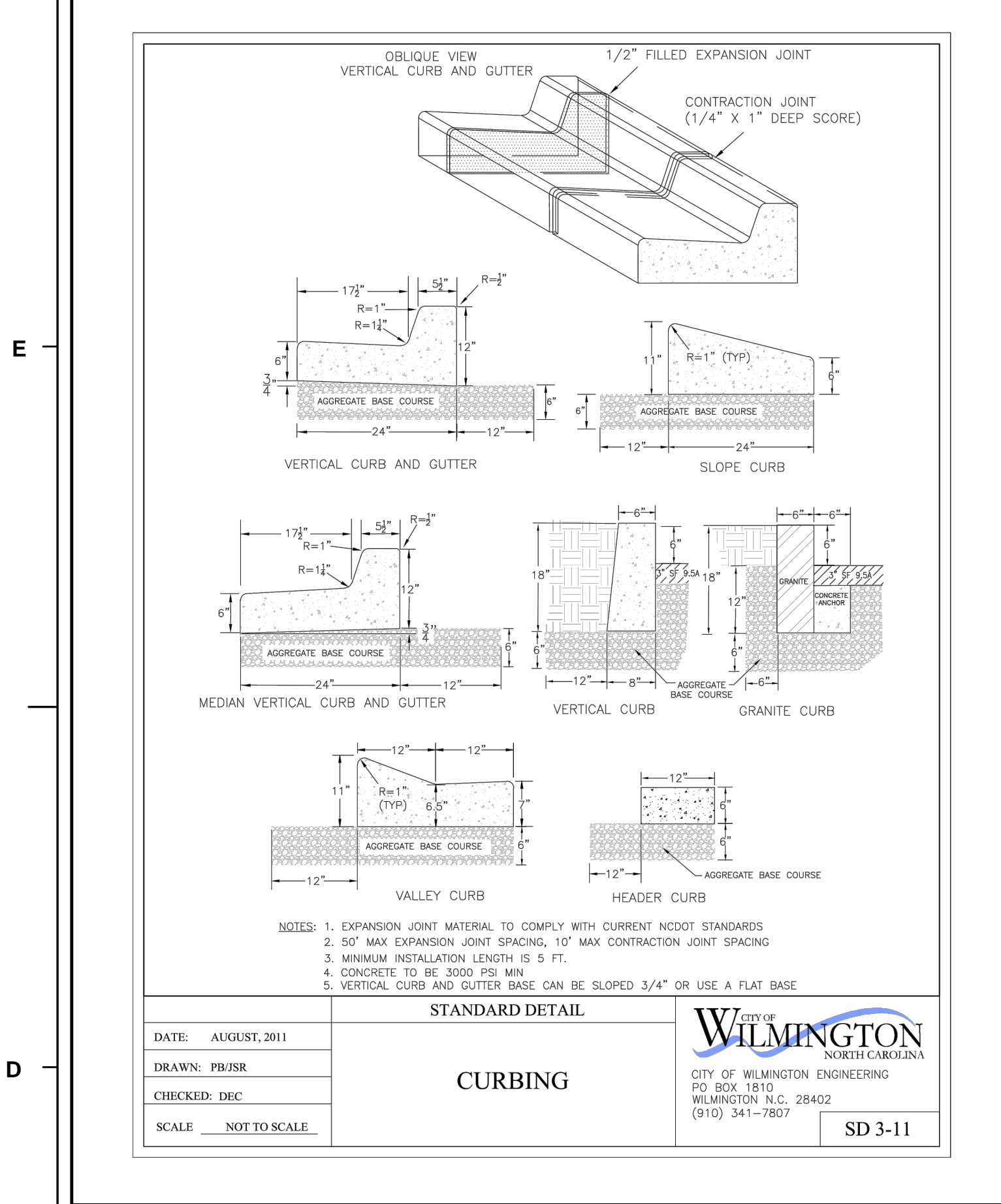
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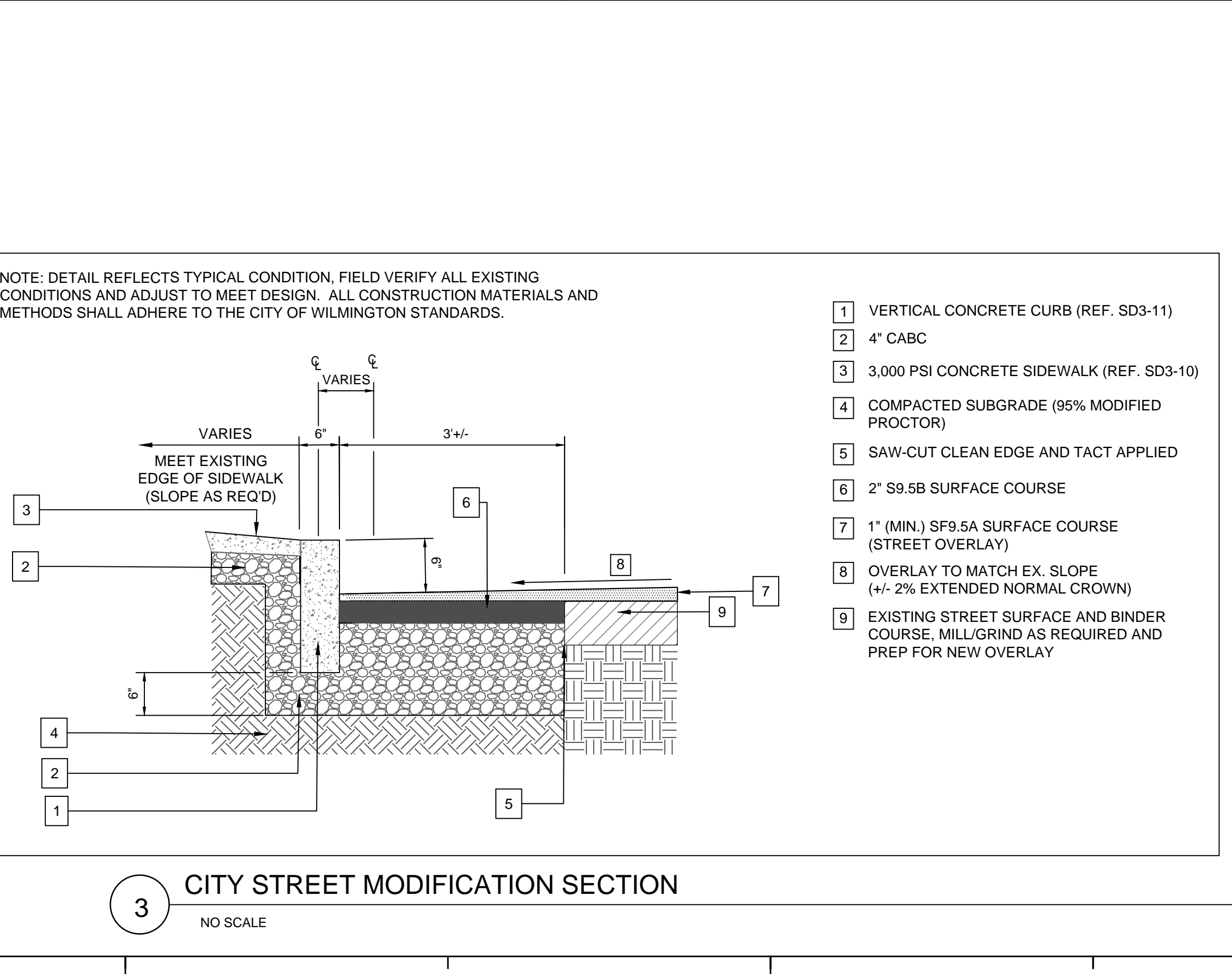
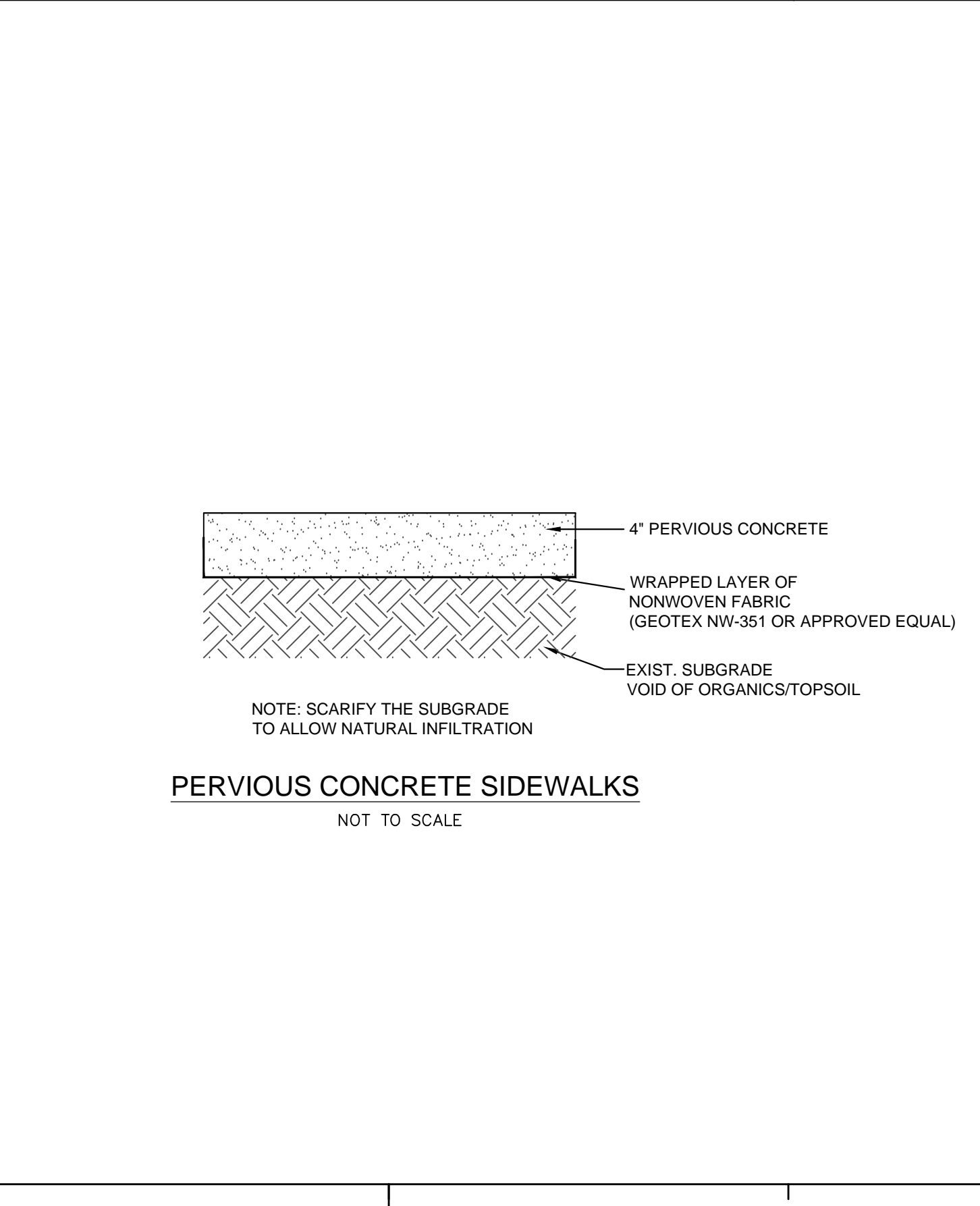
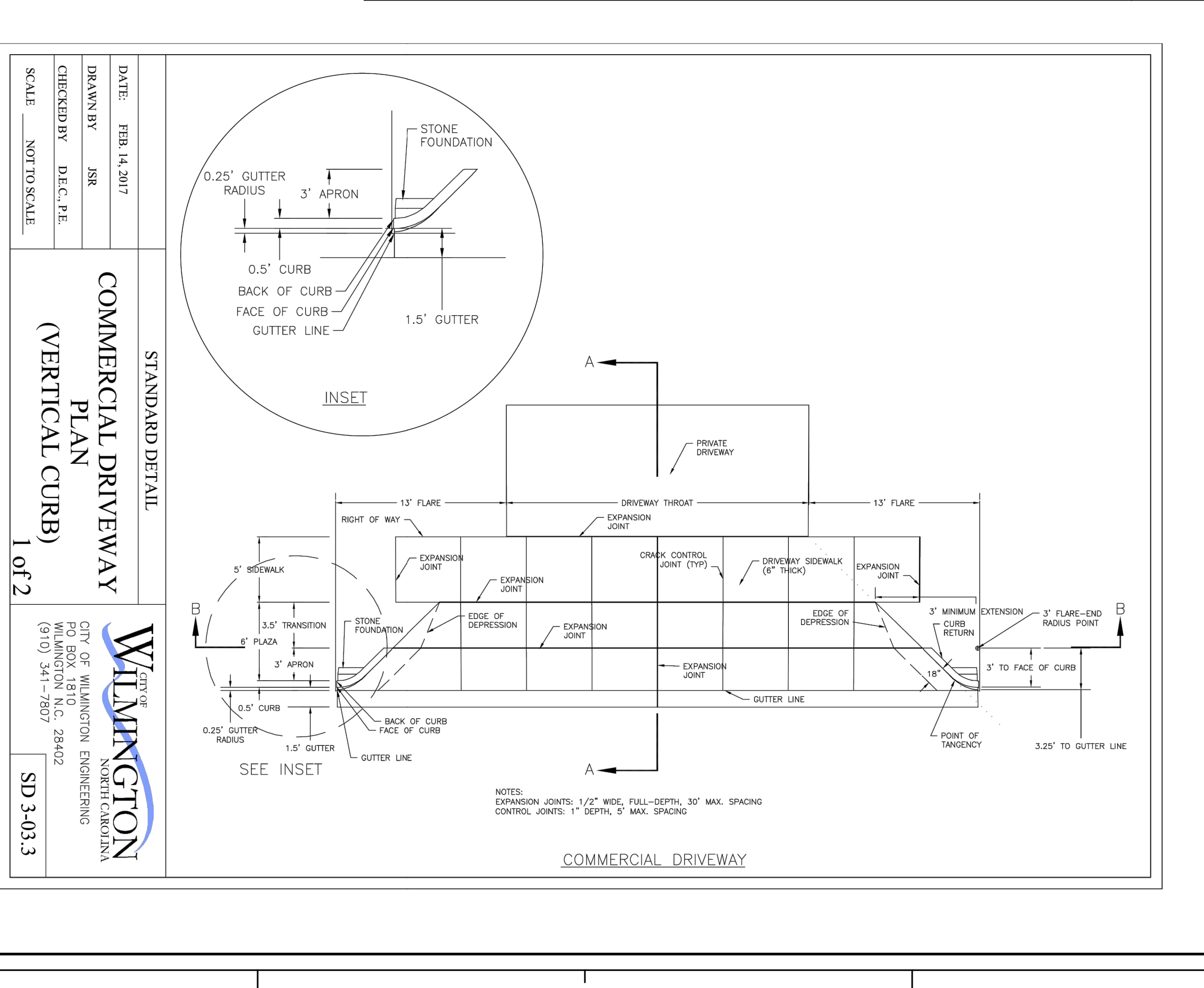
UTILITY PLAN

C-4.0

SOLUTIONS THROUGH LISTENING
 SERVICE BY DESIGN
 DESIGN DEVELOPMENT



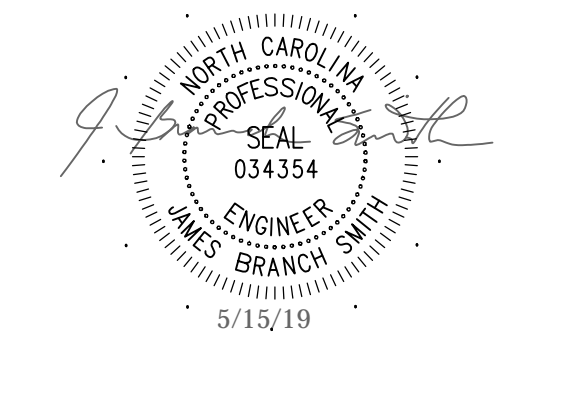
E
D
C
B
A



PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

RIVERBEND
 316 N. 2ND STREET

LS3P ASSOCIATES LTD.
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 WILMINGTON, NORTH CAROLINA 28401
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REVISIONS:

No.	Description	Date

PROJECT: 16163.PE
 DATE: APRIL 04, 2019
 DRAWN BY: CDR
 CHECKED BY: JBS

DETAILS
C-5.0
 SOLUTIONS THROUGH LISTENING
 SERVICE BY DESIGN
 DESIGN DEVELOPMENT

STANDARD DETAIL
CATCH BASIN CASTINGS
DETAIL

DATE: 2001
DRAWN BY: JSB/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CITY OF WILMINGTON
WILMINGTON, NC 28402
(910) 341-7807

SD 2-16

STANDARD DETAIL
PRECAST
DRAINAGE STRUCTURE
SOLID WALL

DATE: 2001
DRAWN BY: JSB/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CITY OF WILMINGTON
WILMINGTON, NC 28402
(910) 341-7807

SD 2-24

GENERAL NOTES:

- * USE 4000 PSI CONCRETE, PROVIDE FOR H-20 TRAFFIC LOADING.
- * PROVIDE ALL REINFORCING STEEL WHICH MEETS ASTM A615 FOR GRADE 60 AND WELDED WIRE FABRIC CONFORMING TO ASTM A185.
- * PLACE LIFT HOLES OR PINS IN ACCORDANCE WITH OSHA STANDARD 1926.704
- * PROVIDE FORMED OPENINGS, FOR PIPE TO PROVIDE REQUIRED SIZE AND LOCATION.
- * SEAL OPENINGS WITH HYDRAULIC CEMENT.
- * ALL ELEMENTS PRECAST TO MEET ASTM C913.
- * SET ON 6" WASHED STONE
- * FRAME AND GRATE HEIGHT MAY BE ADJUSTED WITH BRICK.
- * PROVIDE PRECAST STRUCTURES OVER 4'-0" IN DEPTH WITH STEPS/LADDER INSTALLED IN ACCORDANCE WITH ASHA STANDARD 1910.27 AND AS FIELD CONDITIONS DICTATE.
- * WELDED WIRE FABRIC MAY BE SUBSTITUTED FOR REBAR AS LONG AS THE SAME AREA OF STEEL IS PROVIDED.
- * SEAL JOINTS WITH A FLEXIBLE BUTYL RUBBER BASE CONFORMING TO FEDERAL SPECIFICATION SS-5-21A, ASHTO M-19B, TYPE B - BUTYL RUBBER.
- * USE FRAME AND GRATE AS PER SD-19.
- * GROUT INVERT TO PROVIDE SMOOTH FLOW

STANDARD DETAIL
PRECAST
DRAINAGE STRUCTURE
GENERAL NOTES

DATE: 2001
DRAWN BY: JSB/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CITY OF WILMINGTON
WILMINGTON, NC 28402
(910) 341-7807

SD 2-24a

STANDARD DETAIL
GUIDELINES FOR
STORM DRAIN MANHOLE

DATE: 2001
DRAWN BY: JSB/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CITY OF WILMINGTON
WILMINGTON, NC 28402
(910) 341-7807

SD 2-03

STANDARD DETAIL
CATCH BASIN

DATE: 2006
DRAWN BY: JSB/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CITY OF WILMINGTON
WILMINGTON, NC 28402
(910) 341-7807

SD 2-01

STANDARD DETAIL
PRECAST CONCRETE
MANHOLE WITH
ECCENTRIC COVER

DATE: 2006
DRAWN BY: JSB/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28402
OFFICE: (910) 332-6500

SD 1-1

STANDARD DETAIL
SEWER SERVICE CONNECTION -
TYPICAL CLEAN-OUT

DATE: 2006
DRAWN BY: JSB/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28402
OFFICE: (910) 332-6500

SD 1-3

STANDARD DETAIL
MANHOLE RIM ADJUSTMENTS

DATE: 2006
DRAWN BY: JSB/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28402
OFFICE: (910) 332-6500

SD 1-5

PARAMOUNTE
ENGINEERING, INC.

122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (C) (910) 791-6700 (F)
NC License #: C-3846

RIVERBEND #1 LLC
P.O. Box 1087
West End, NC 27376

RIVERBEND
316 N. 2ND STREET

LS3P

LS3P ASSOCIATES LTD.
101 NORTH THIRD STREET, SUITE 500
WILMINGTON, NORTH CAROLINA 28401
TEL. 910.790.9901 FAX 910.790.3111
WWW.LS3P.COM

STANDARD DETAIL
DANDY SACK INLET PROTECTION
NOT TO SCALE

DATE: 2006
DRAWN BY: JSB/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28402
OFFICE: (910) 332-6500

SD 1-1

STANDARD DETAIL
VALVE DETAIL

DATE: 2006
DRAWN BY: JSB/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28402
OFFICE: (910) 332-6500

SD 1-1

STANDARD DETAIL
PAVED AREA UNPAVED AREA

DATE: 2006
DRAWN BY: JSB/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28402
OFFICE: (910) 332-6500

SD 1-5

STANDARD DETAIL
METER VAULT

DATE: 2006
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SCALE: NOT TO SCALE

CAPE FEAR PUBLIC UTILITY AUTHORITY
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SD 1-9

STANDARD DETAIL
METER VAULT PLAN

DATE: 2006
DRAWN BY: JSB/CMR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

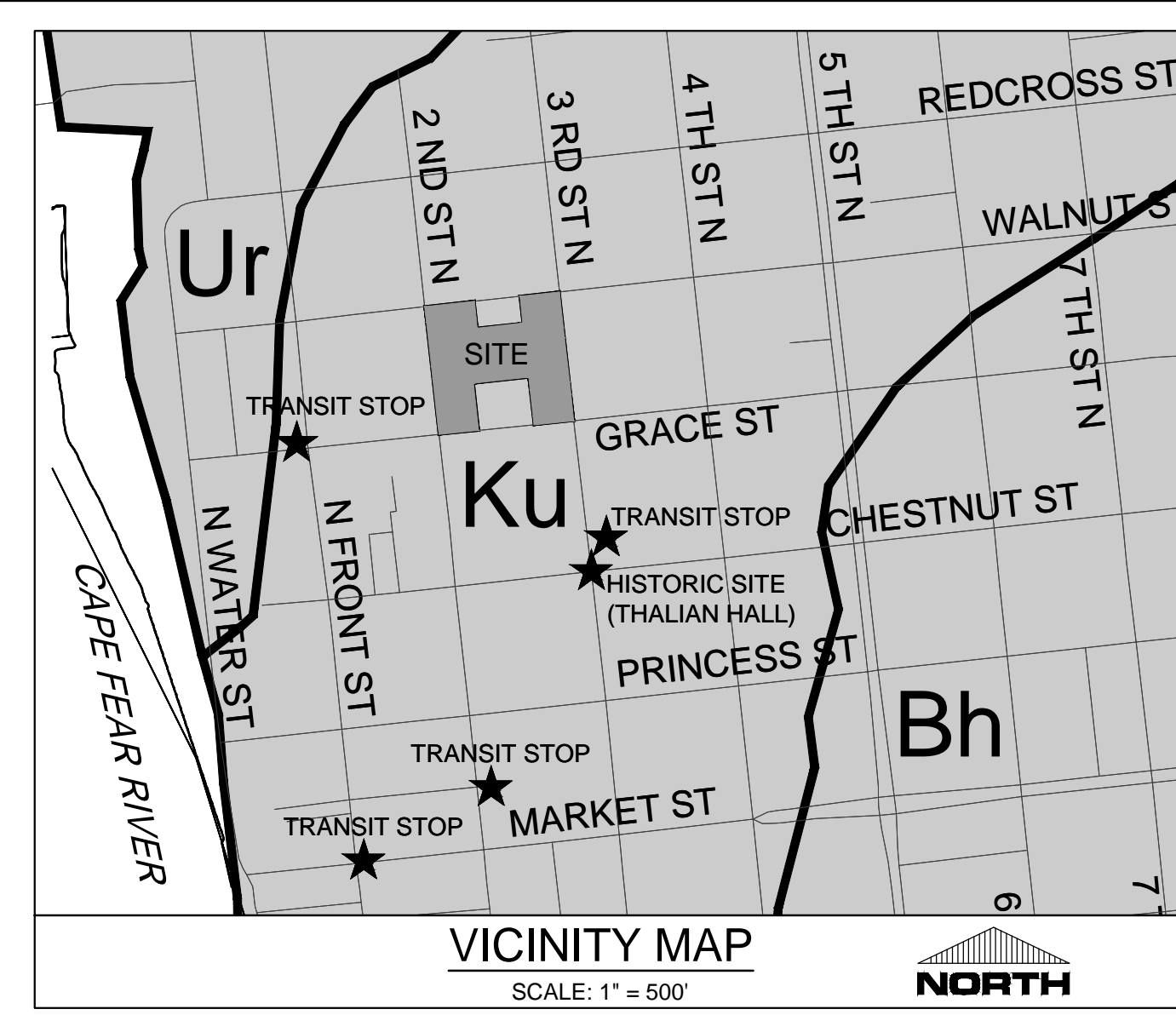
CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28402
OFFICE: (910) 332-6500

SD 1-9

DETAILS

C-5.1

SOLUTIONS THROUGH LISTENING
SERVICE BY DESIGN
DESIGN DEVELOPMENT



SITE DATA TABULATION

CURRENT ZONING: CBD (CENTRAL BUSINESS DISTRICT)

LANDSCAPING
PARKING AREA LANDSCAPING:
 PARKING AREA IS ENTIRELY LOCATED UNDER THE STRUCTURE OF THE BUILDING. NO LANDSCAPE IS PROVIDED IN PARKING AREAS

BUILDING SETBACK:
 THE BUILDING WILL BE LOCATED ON OR SET BACK LESS THAN ONE FOOT FROM THE PROPERTY LINES. ENTIRE AREA FROM CURB TO BUILDING WILL BE HARDSCAPE OR STREET TREE PLANTING AS INDICATED ON THE PLAN.

STREET TREES:
 STREET TREE REQUIREMENT: 1 TREE/30 FT. OF FRONTAGE
 WALNUT STREET REQUIRED: 122 FT OF FRONTAGE - 0' OF DRIVEWAY = 122 / 30 = 4 TREES
 WALNUT STREET PROVIDED: 4 TREES

2ND STREET REQUIRED: 331 FT OF FRONTAGE - 24' OF DRIVEWAY = 307 / 30 = 10 TREES
 2ND STREET PROVIDED: 10 TREES

GRACE STREET REQUIRED: 98 FT OF FRONTAGE - 79' OF DRIVEWAY = 19 / 30 = 1 TREE
 GRACE STREET PROVIDED: 2 TREES

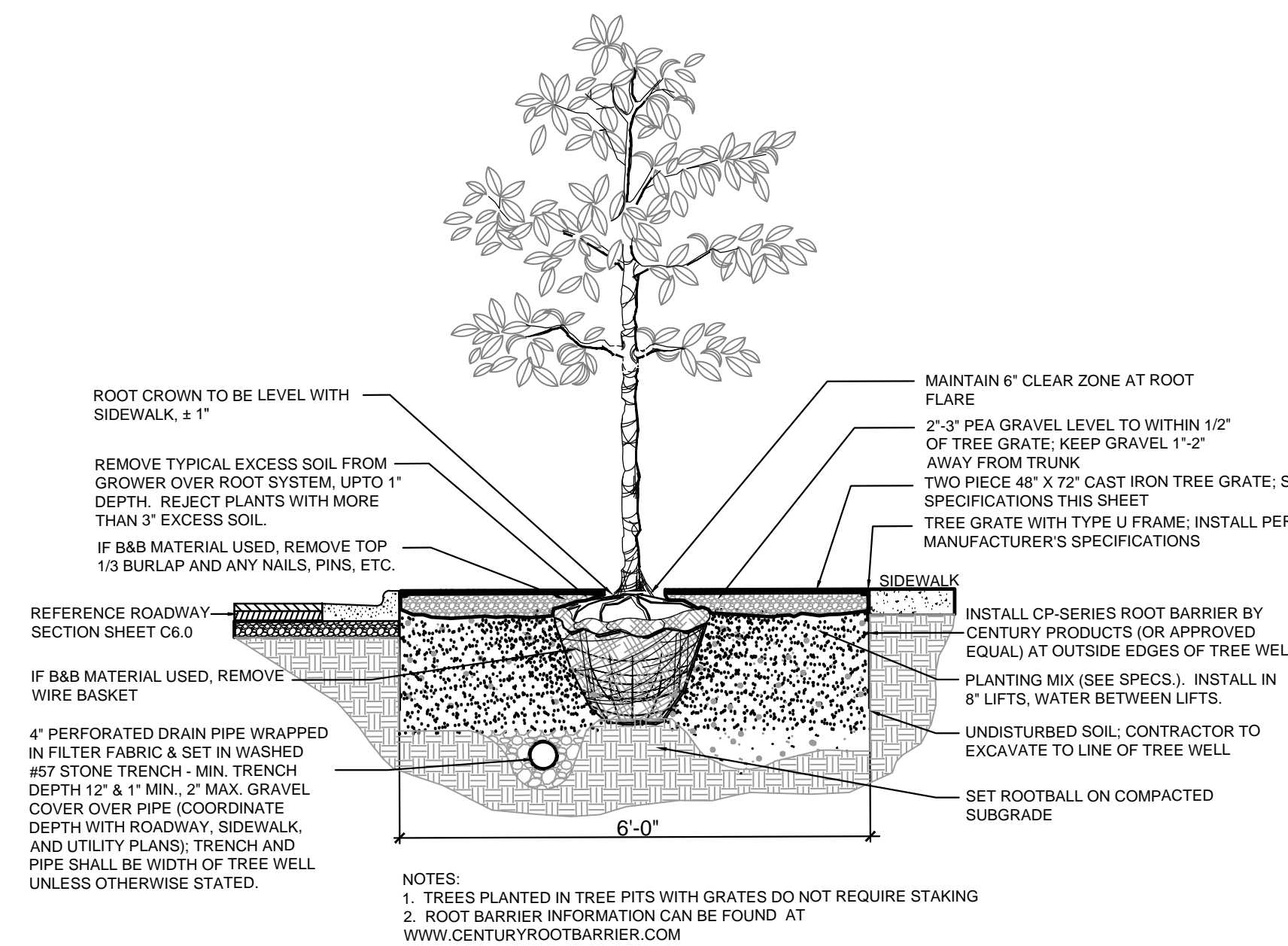
3RD STREET - EXISTING TREES TO REMAIN

TREE REMOVAL:
 NO TREES EXIST ON THE SITE. NO MITIGATION REQUIRED

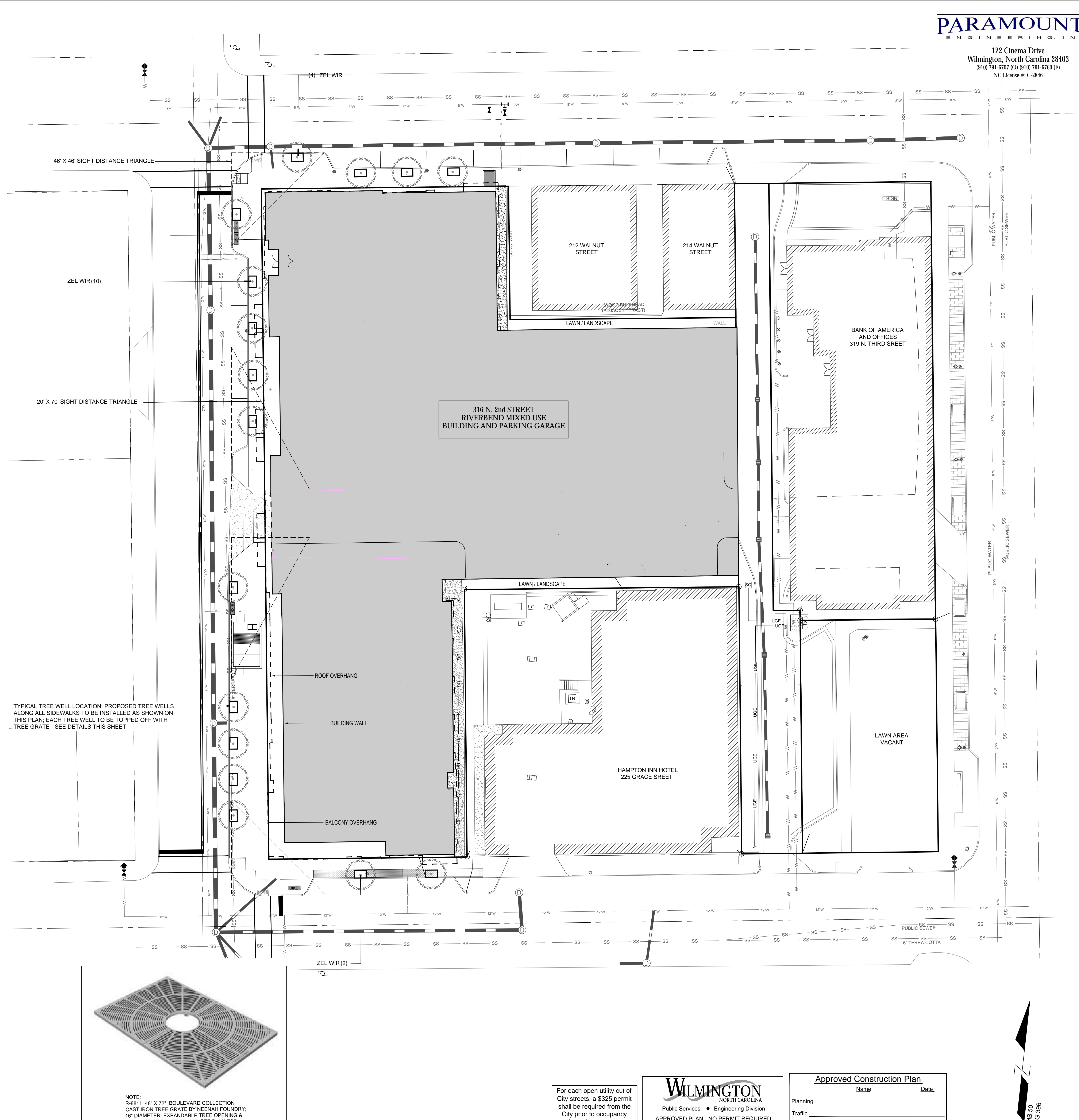
LANDSCAPE NOTES:

- Contractor is responsible for identifying all utilities prior to beginning construction. Reference City of Wilmington Notes on Site Plan for more information.
- Trees shall be located a minimum of 5 feet from sewer/water connections or as otherwise dictated by local regulations. Contractor shall be liable for damage to any and all public or private utilities.
- All plant material shall meet the current version of the American Association of Nurserymen's Standards.
- No existing trees shall be removed without approved tree removal permit from the City of Wilmington.
- All planting areas, mulch areas and tree wells (excluding seeded areas) shall be mulched with 3 inch minimum and 4 inch maximum depth double shredded hardwood mulch unless otherwise noted.
- Planting soil mix: Mix existing soil with the soil amendments and fertilizers in the quantities recommended by the soil testing laboratory, third party recognized by the State department of Agriculture or as otherwise approved by the Landscape Architect or Owner's Representative.
- Any and all substitutions of plant material shall be approved by Landscape Architect or Owner's Representative. Failure in obtaining approval may result in liability to the Contractor.
- The Contractor shall replace dead and/or unhealthy plant material within 12 months of acceptance of the installed material from the Owner or Owner's Representative.
- The Contractor shall prepare all seeded or sodded areas to assure that the subgrade has been raked and rolled to accept the sod/seed. All sod/seeded areas must be irrigated or hand watered. All sod shall be placed with staggered joints and no gaps between sod joints. Sod should be rolled after installation. All seeded and/or sodded areas should provide a smooth surface free of dips and unlevelled ground.
- Any irrigation shall be designed and installed by a licensed irrigation contractor in the state of North Carolina.
- The Contractor is responsible for hand watering the installed plant material for a period of 6 months from the acceptance from the Owner or Owner's Representative if irrigation has not been installed. During the first 3 months, all material including seeded or sodded areas shall be hand watered once weekly or as needed to ensure survival of plants. The remaining 3 months all material shall be hand watered once per week.
- Contractor is responsible for removing trash, debris and excess materials from the job site once the project is complete. Securing any materials left on site during the course of the project is the Contractor's responsibility and the Contractor will be required to replace any materials at the Contractor's cost.
- There are no known conservation resources associated with this parcel.
- Reference site plan and demolition plans for existing and proposed utility information.
- Contractor shall supply all tree grates and root barriers as specified or substituted materials as approved by Owner and City of Wilmington.
- Contractor is responsible for restoring/rebuilding the 3rd Street streetscape to existing conditions and as acceptable to City of Wilmington. Contractor is responsible for obtaining 3rd Street streetscape plans from City of Wilmington prior to installation of any materials along 3rd Street.
- Contractor is responsible for transplanting, holding/storing/stock piling and replanting/installing all existing plant material and streetscape materials along 3rd Street. Contractor shall replace any damaged or unsatisfactory material with new material to match the same size, type and color of material installed back on site.
- If sidewalks, planters, benches, tree grates, brick pavers, or curbing are damaged during removal, storage, or construction, the applicant shall replace them using an approved contractor in accordance with NCDOT or City of Wilmington Standards.

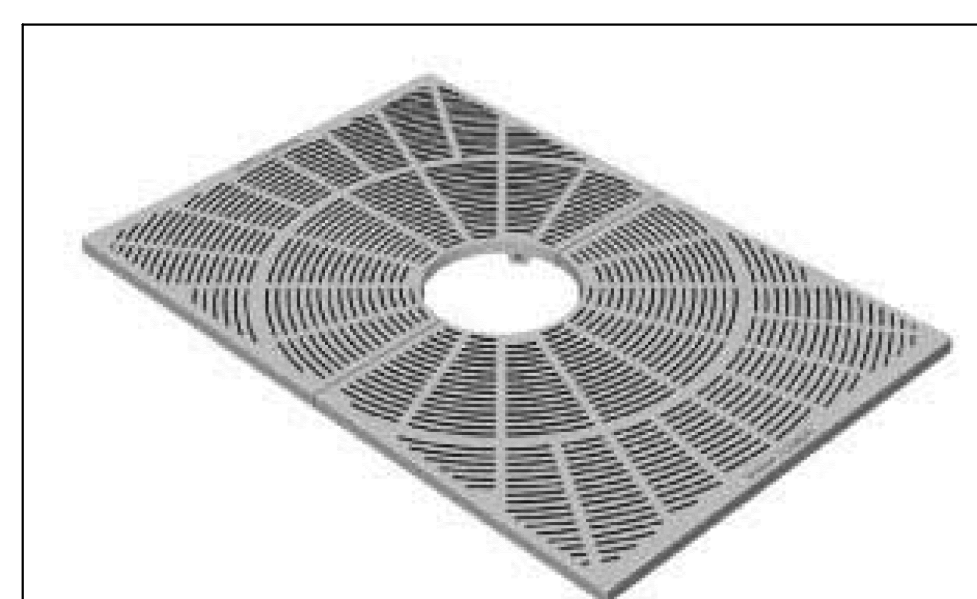
TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	ZEL WIR	Zelkova serrata 'Wireless' Wireless Zelkova	2.5' cal	16



A SINGLE STEM TREE INSTALLATION DETAIL FOR TREE WELL
 NTS



TYPICAL TREE WELL LOCATION; PROPOSED TREE WELLS ALONG ALL SIDEWALKS TO BE INSTALLED AS SHOWN ON THIS PLAN. EACH TREE WELL TO BE TOPPED OFF WITH TREE GRATE - SEE DETAILS THIS SHEET



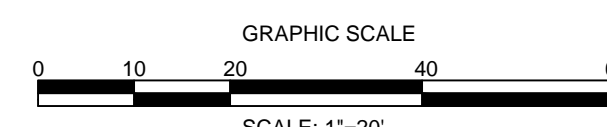
B TREE GRATE SPECIFICATION FOR TREE WELL
 NTS

NOTE:
 R-8811 48" X 72" BOULEVARD COLLECTION
 CAST IRON TREE GRATE BY NEENAH FOUNDRY;
 16" DIAMETER EXPANDABLE TREE OPENING &
 TYPE U TREE GRATE FRAME; SEE PLAN FOR
 LOCATIONS

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED PLAN - NO PERMIT REQUIRED
 Signed: _____

Approved Construction Plan
 Name: _____ Date: _____
 Planning: _____
 Traffic: _____
 Fire: _____



PARAMOUNTE
 ENGINEERING, INC.

122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License # C-2846

RIVERBEND #1, LLC
 P.O. BOX 1087
 WEST END, NC 27376

RIVERBEND
 316 N. 2ND STREET

LS3P

LS3P ASSOCIATES LTD.
 101 NORTH THIRD STREET, SUITE 500
 WILMINGTON, NORTH CAROLINA 28401
 TEL. 910.790.9901 FAX 910.790.3111
 WWW.LS3P.COM

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REVISIONS:

No.	Description	Date

PROJECT: 16163.PE
 DATE: FEBRUARY 15, 2019
 DRAWN BY: ABE
 CHECKED BY: RPB

LANDSCAPE PLAN

L-1.0

SOLUTIONS THROUGH LISTENING
 SERVICE BY DESIGN

DESIGN DEVELOPMENT